



GEORGE WASHINGTON VILLAGE

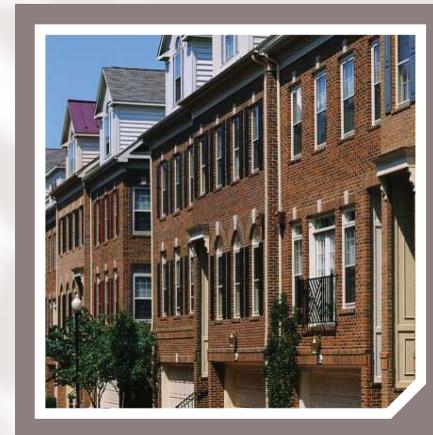
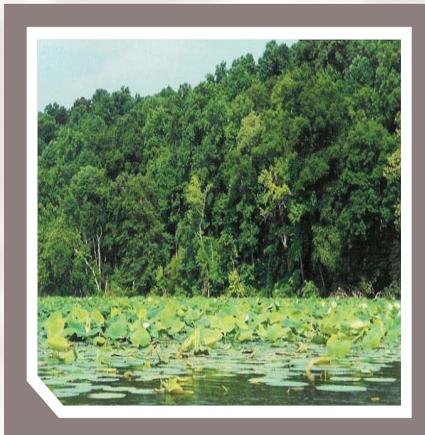
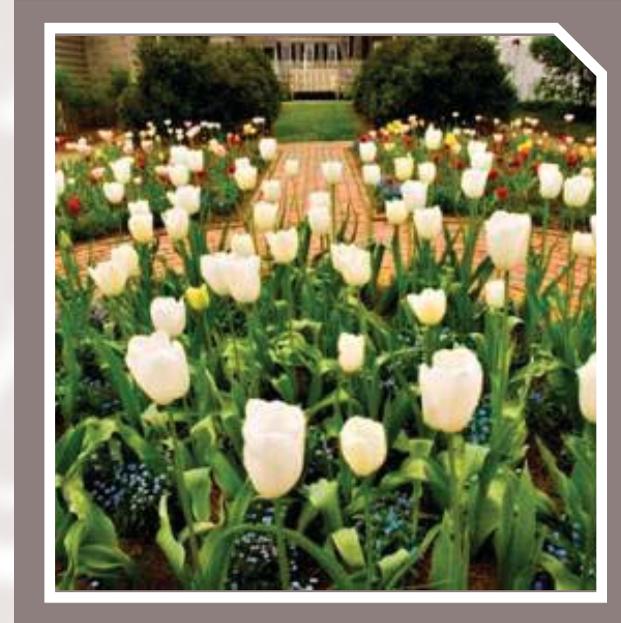
STAFFORD COUNTY, VA



George Washington Village will be a walkable, mixed use community located in the heart of Stafford County, Virginia. By combining recreational, commercial and residential opportunities with civic uses, George Washington Village will be a destination where all County residents have the option of greatly limiting their automobile use because all of the essential elements of modern life will be in close proximity to their homes. This will not only contribute to their overall quality of life but will also result in a reduction in the number of cars using County and other roads in the area.

A significant open space component comprised of active and passive recreational opportunities will be a hallmark of George Washington Village. An extensive trail network will take advantage of the presence of wetlands to create an exceptional opportunity for enjoying the outdoors and the natural environment.

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JULY, 2016





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This guide was prepared by:



NOTE: This document is intended to describe the design approach to a rezoning application and Traditional Neighborhood Development for George Washington Village in Stafford County.

TEXT AND TABLES DEPICTING STANDARDS ARE INTENDED TO BE MANDATORY; PHOTOGRAPHS, DIAGRAMS AND/OR RENDERINGS ARE INTENDED TO BE ILLUSTRATIVE ONLY AND ARE NOT CONSIDERED MANDATORY.



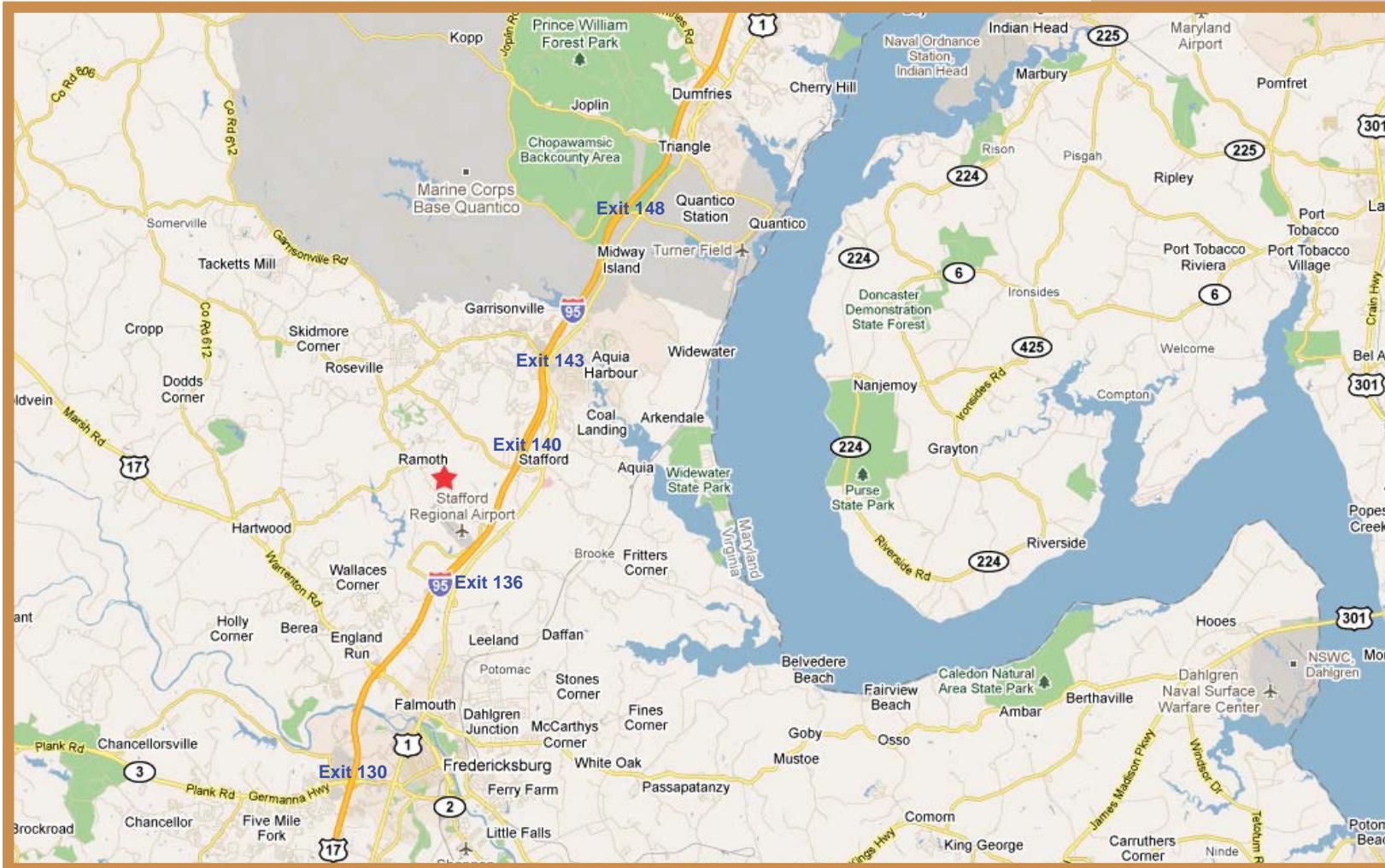
Project Location

Project Overview & Introduction

Neighborhood Design Standards

Property Location

George Washington Village will be located in the Hartwood Magisterial District between Courthouse and Ramoth Church roads. The project will have excellent access to the regional transportation network through the site's close proximity to Interstate 95. The development will be located approximately 3.5 miles northwest of Exit 136 (Centreport Parkway), and 0.85 miles southwest of Exit 140 (Courthouse Road).



Regional Setting



Local Setting

Property Description

The majority of the approximately 534 acre site is generally characterized by upland forest that has undergone extensive logging activities in the past.

The property is currently designated a number of different zoning districts. Approximately twenty percent of the project is zoned to allow for industrial and commercial development. Given the current zoning of the property, it is likely that development would be haphazard and would lack the quality and attention to detail that master planning would provide.

The project is located within one of Stafford County's Urban Development Areas (UDAs). The county's Comprehensive Plan 2010-2030 states that:

[t]hese areas will support a more intense, pedestrian and transit oriented form of development, located in close proximity to primary road networks, transportation hubs . . . This more urban form of development will allow residents to work, live, shop and play within a relatively small area without fully relying on the automobile. Focus should be on the form of development, incorporating principles of traditional neighborhood design . . .

The existing by-right uses do not support these recommendations. George Washington Village has been designed to address these recommendations and provide Stafford County with a much-desired "Downtown" and further the vision for the overall Courthouse area.

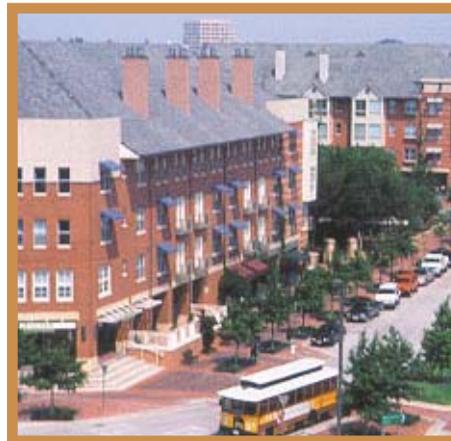
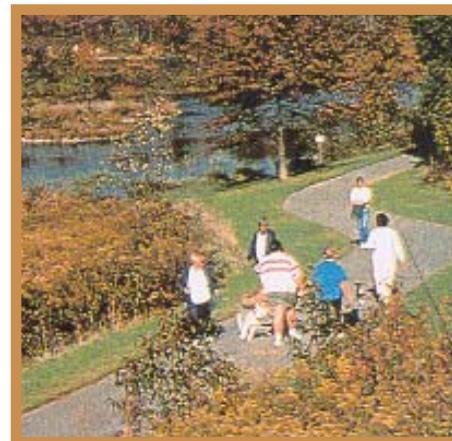


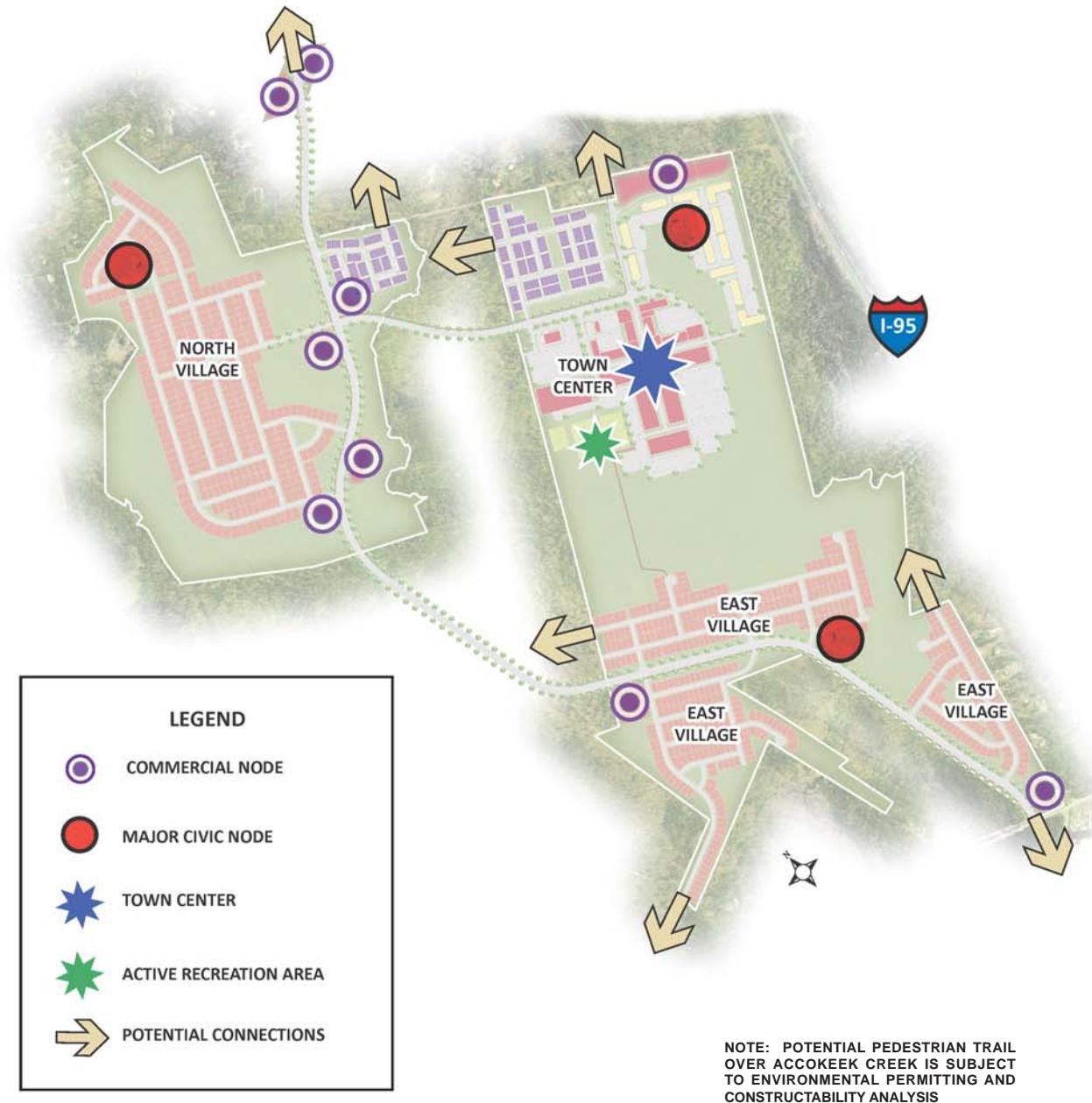
Zoning & Purpose of the Neighborhood Design Standards

Project Overview & Introduction

Neighborhood Design Standards

George Washington Village is designed as a P-TND community. The P-TND zoning designation permits a mix of uses, subject to a regulating plan which establishes the location, maximum density, and maximum type of each use. The Neighborhood Design Standards establish the framework for the design, appearance, and architectural standards for all buildings, civic uses, streets, and landscaping. Text and tables depicting standards are intended to be mandatory; photographs, diagrams, and/or renderings are intended to be illustrative only and are not considered mandatory. All uses allowed in the proposed P-TND zone may be built, unless expressly excluded by this governing document.



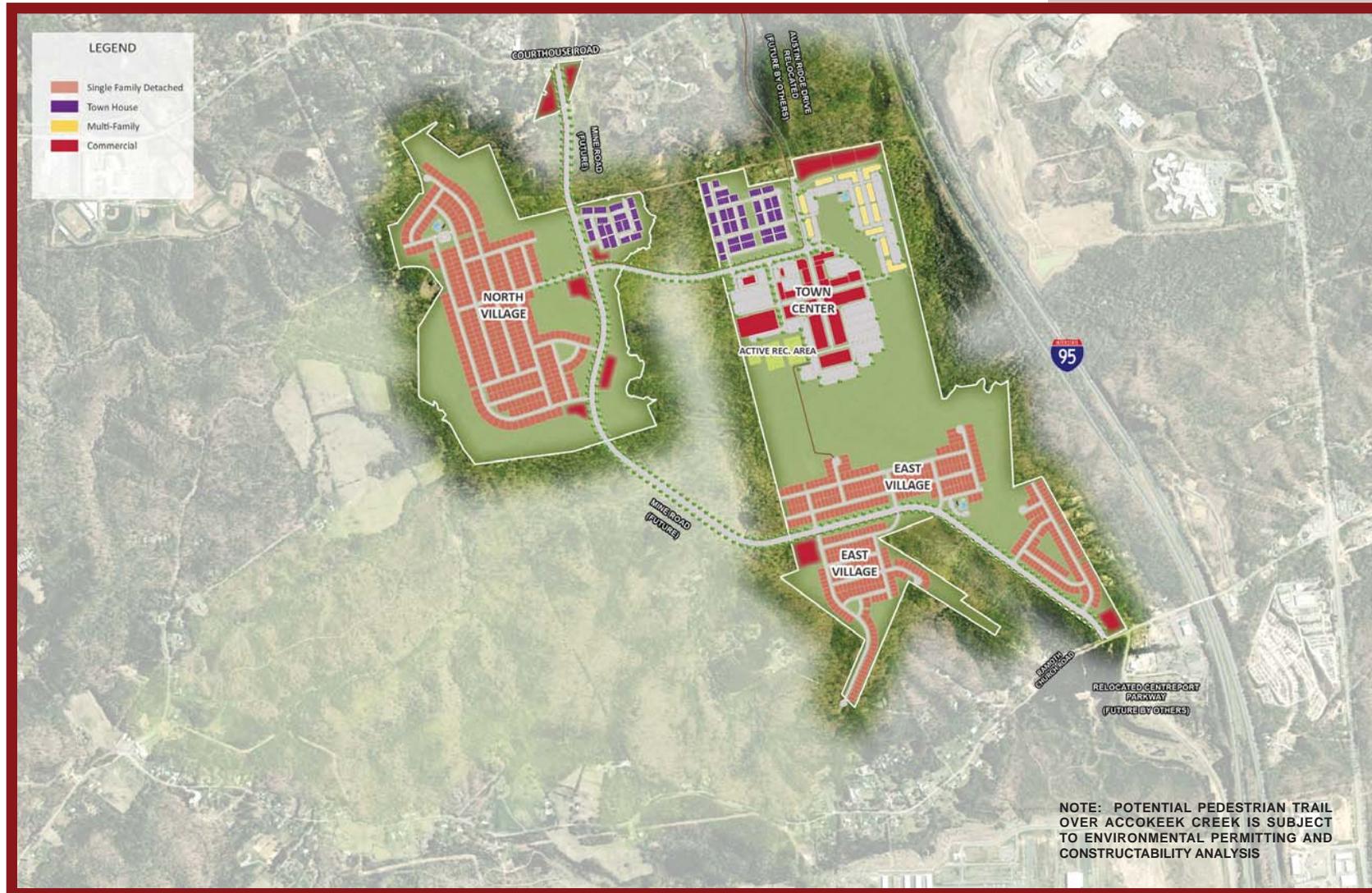


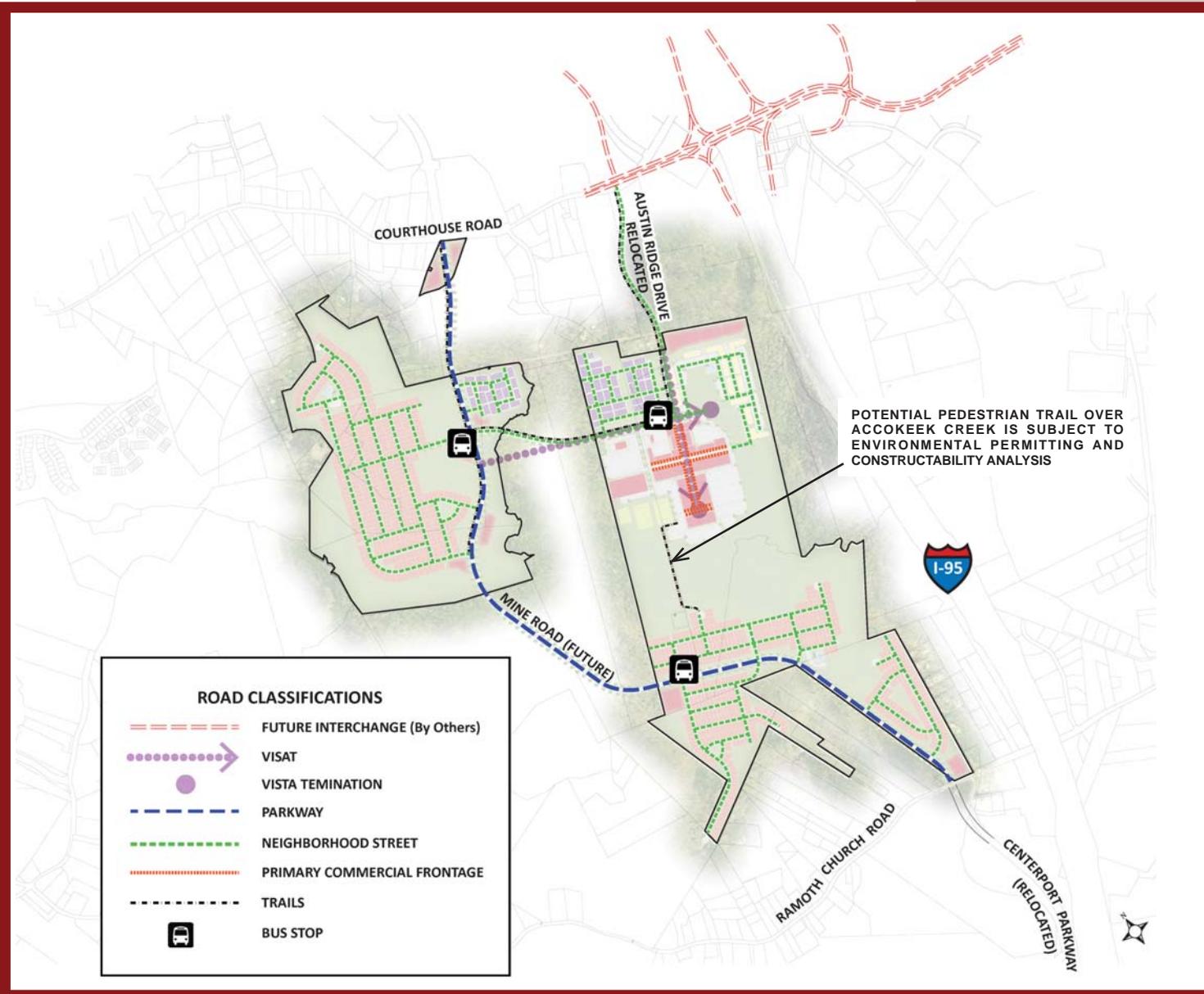
The overall vision which informs the design of George Washington Village is to use the opportunity presented by the recently adopted George Washington Village Urban Development Area (UDA) plan; as well as the new P-TND ordinance, to create a walkable, human scaled community which is an exemplar of traditional neighborhood development. As explained further in their respective sections of this document, the transect zones and guidelines will control the overall pattern and look of the development. Beyond these, key concepts which inform the design of George Washington Village include:

- **Respect for the land** - Wetlands and other sensitive areas will be respected through minimal intrusions and development of a modified grid of streets which works with the natural topography of the site.
- **Active and passive recreational opportunities** - will be provided throughout the community in order to encourage active, healthy lifestyles.
- **Convenience** - Shopping, recreation and work destinations will be conveniently provided in close proximity to all residents.
- **Housing variety** - Housing types will vary and will be suitable for all ages from first time homeowners to empty nesters.
- **Transparent boundaries** - George Washington Village will have the ability to grow organically over time as is the case with older towns and cities.
- **Flexible framework** - The framework for George Washington Village is intended to be flexible and allow the community to respond to changing market conditions while preserving the core concepts.

The Framework Plan illustrates the overall composition of George Washington Village. Principal areas are:

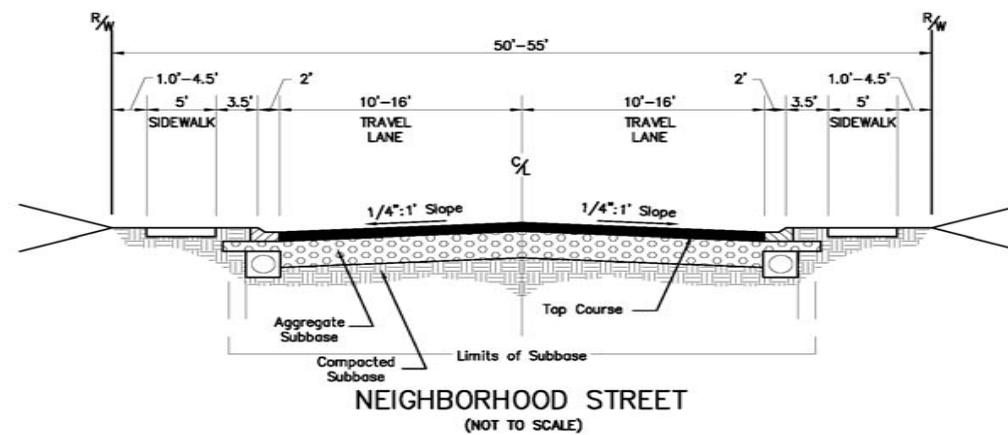
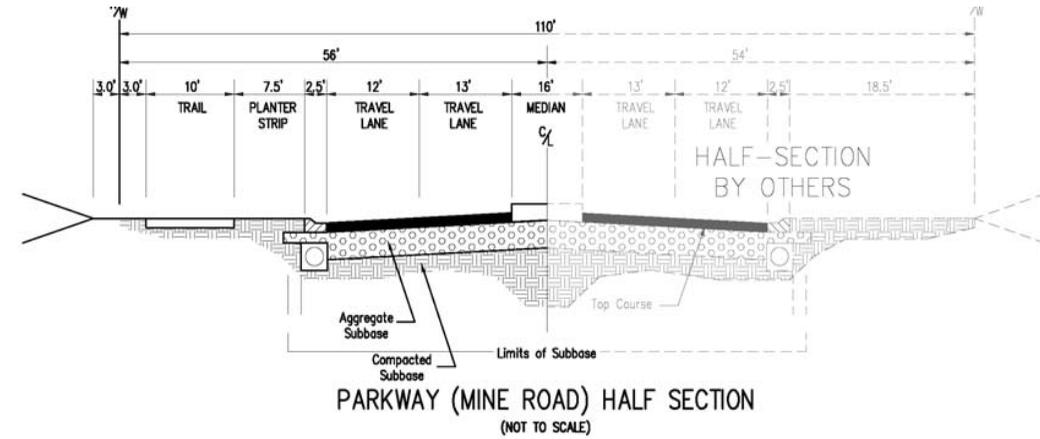
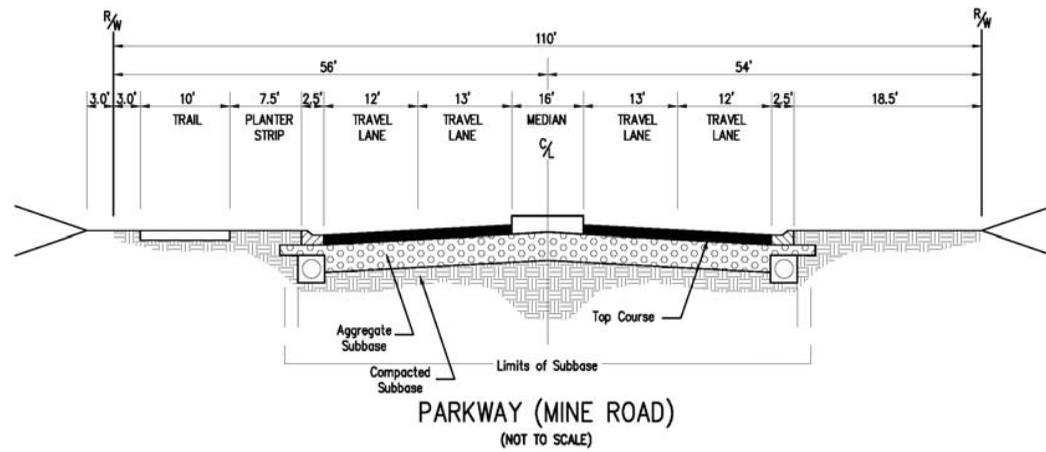
- The Town Center – This will be the commercial and cultural heart of George Washington Village. Retail and restaurant/entertainment uses will provide residents throughout this part of Stafford County with a lively gathering spot and a convenient place to purchase needed goods and services. This will be the ideal location for any civic or cultural facilities such as theaters or a library should Stafford County choose to develop those in the area. The Main Street area will be the most urban part of the Town Center with sidewalk cafes, wide sidewalks and strategically located plazas.
- Active Recreation / Soccer & Multi-purpose Fields – a large area just to the south of the Town Center is planned for active recreation. These facilities will be a major asset for all of Stafford County's residents. Incorporating a variety of ballfields, this facility will be a regional draw. This area will be accessible by the trail and/or sidewalk network. There is also the potential of additional opportunities for outdoor public gatherings.
- North Village – this area will be composed primarily of medium sized residential lots and townhomes with easy access of the Town Center. Several commercial nodes will offer convenient service and retail uses.
- East Village – This neighborhood will be primarily residential offering a variety of lot sizes. They will be connected to the Town Center via roadways, sidewalks, and potentially the trail system. In addition, the opportunity exists to introduce small scale, convenient retail and restaurant opportunities along Mine Road.
- Open Space/Trail System – George Washington Village will be connected by an extensive trail system within the open space preservation areas and along roadways. Residents will have the ability to bike, run, hike and generally enjoy nature within close proximity to their homes. In addition, the system will promote pedestrian activity as an alternative to driving.





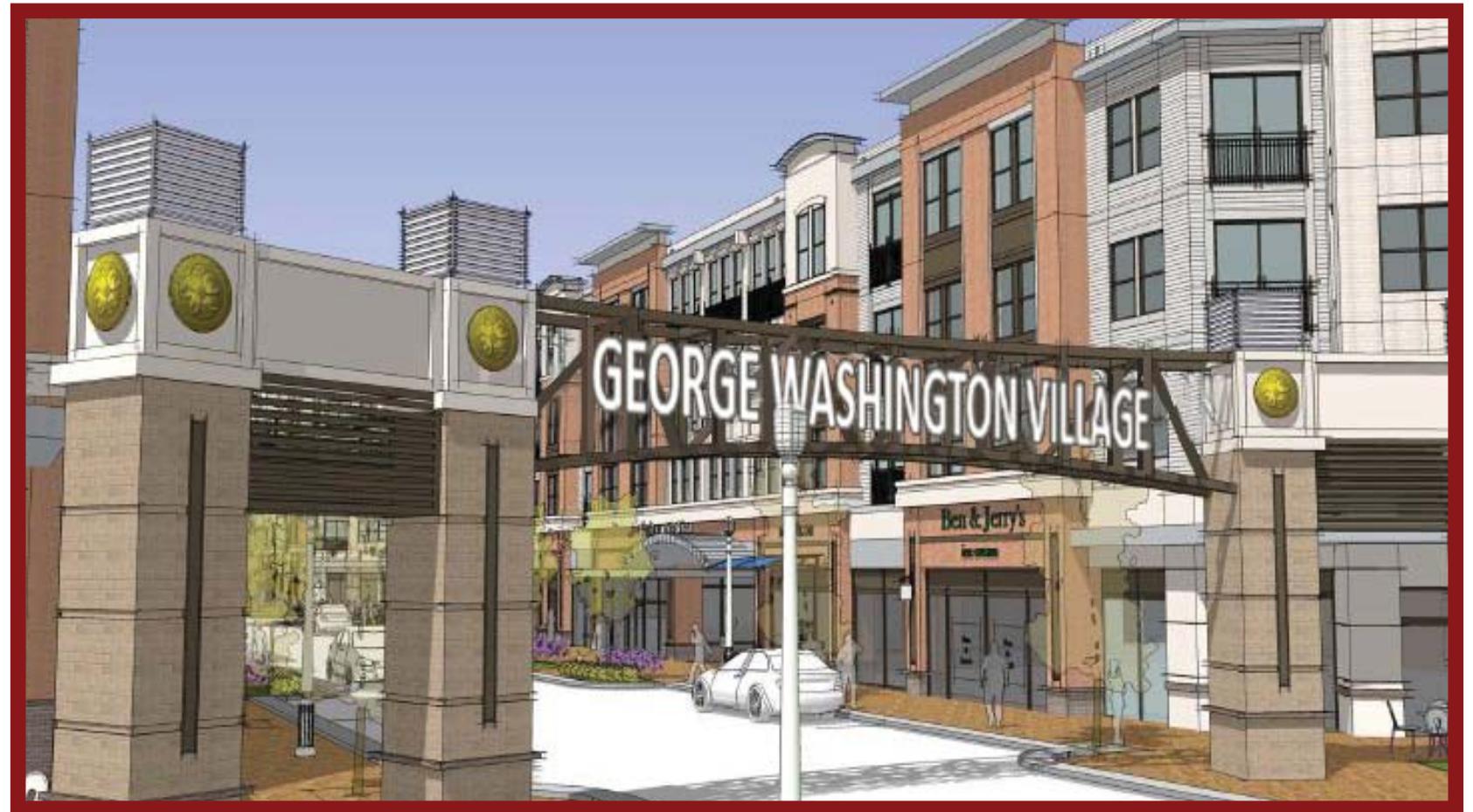
George Washington Village has been designed to provide a safe, connected neighborhood with a real and palpable sense of community. The proposed street pattern helps to return the streetfront to pedestrians. The quality of the streets and streetscape within George Washington Village will be of considerable importance in establishing the area's overall character, the safety of motorists and pedestrians and the ease of access within and to the community.

Typical street sections are presented below. George Washington Village's street designs will generally conform to these street sections.



The concept of entry as applied here is in many ways analogous to the idea of “curb appeal” in the real estate industry. These are the places where the critical first impression of a place is made and which colors people’s perception of the quality and vitality of a community. Entries typically occur at locations where a boundary is crossed, such as at bridges or where there are changes in topography, land use or building massing. Within George Washington Village entries will occur not only at the periphery of the village but also when moving from one village to another, arriving at the Town Center, or when passing through the open space areas which divide George Washington Village from north to south. Entrance features will be provided as generally depicted on the *Open Space & Signage Plan*; a sheet within the submitted General Development Plan.

A sense of entry or arrival can be accomplished in a number of ways including formal gateways, signage, landscaping, or public art, among others.



Pedestrian Shed Destination Schedule

1. Civic Use
2. Commercial Use
3. Commercial Use
4. Civic Use
5. Commercial Use
6. Commercial Use
7. Commercial Use
8. Commercial Use
9. Commercial Use
10. Civic Use
11. Civic Use
12. Commercial Use

Pedestrian shed destination classifications and locations subject to change with final engineering.

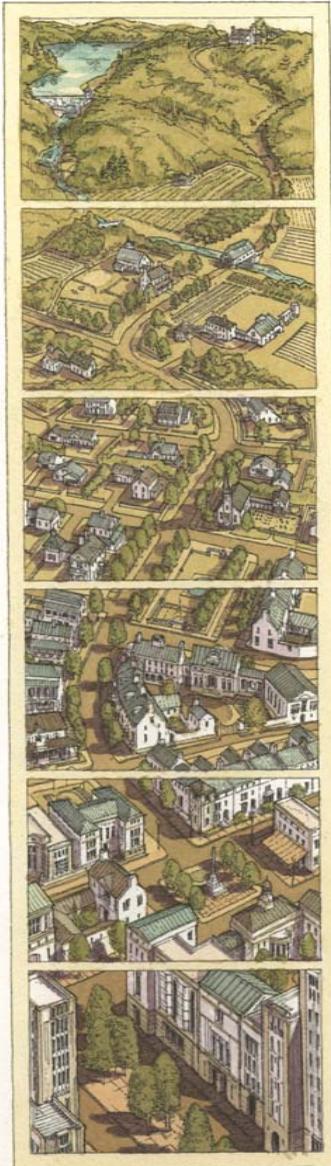


The pedestrian shed plan pictured to the left indicates that each civic structure located within George Washington Village will be located within at least one pedestrian shed. A pedestrian shed is the area within a community that has a destination point (such as a civic or commercial use) that can be traveled to by a leisurely five minute walk or bicycle ride. The pedestrian shed is measured as the area within a circle having a radius of 1,320 feet (the distance of a five minute walk).

NOTE: Civic uses shall be provided in accordance with Stafford County Code in each pedestrian shed; and as defined by Section 28-25. - Definitions of specific terms; as follows:

Civic buildings and uses. A building or area that may be a common place of destination or gathering for the purpose of providing educational, entertainment, fraternalism, worship, or community services to the public such as, but not limited to: libraries, cultural centers, museums, center for the arts, multiplex cinemas, town square, post offices, places of worship, community centers, fire stations with community rooms, and schools (public or private). For traditional neighborhood development (TND), this term shall not include tot lots, playgrounds, nonregulation or dedicated use athletic fields, or hiker-biker trails.

Each residential unit shall be located within one pedestrian shed. Each pedestrian shed shall contain no less than 5% open/park spaces.



George Washington Village will conform with the basic planning concepts of the Smart Code & the general intent of the transect concepts.

What is a Transect?

A transect is a geographical cross-section of a region used to reveal a sequence of environments. For human environments this cross-section can be used to identify a set of habitats that vary by their level and intensity of urban character, a continuum that ranges from rural to urban. In transect planning, this range of environments is the basis for organizing the components of the built world: building, lot, land use, street, and all of the other physical elements of the human habitat.

One of the key concepts of transect planning is the idea of creating what are called immersive environments. Successful immersive environments are based, in part, on the selection and arrangement of all the components that together comprise a particular type of environment. Each environment, or transect zone, is comprised of elements that keep it true to its locational character.

Through a complete understanding of the transect, planners are able to specify different urban intensities that look and feel appropriate to their locations. For instance, a farmhouse would not contribute to the immersive quality of an urban core, whereas a highrise apartment building would. Wide streets and open swales find a place on the transect in more rural areas while narrow streets and curbs are appropriate for urban areas. Based on local vernacular traditions, most elements of the human habitat can be similarly appropriated in such a way that they contribute to, rather than detract from, the immersive character of a given environment.

In transect planning, the essential task is to find the main qualities of immersive environments. Once these are discovered, transect planning principles are applied to rectify the inappropriate intermixing of rural and urban elements. Finding the proper balance between natural and human-made environments results in higher-quality places at every point of the spectrum and puts an end to creating sprawl conditions.

Text excerpted from SMARTCODE V6.5/2005. Graphics from SMARTCODE V9.2/2009.

TRANSECTS USED IN GEORGE WASHINGTON VILLAGE





Transect Zones

- T1** This transect zone consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation.
- T4** This transect zone consists of a mixed use but primarily residential urban fabric. It may have a wide range of building types: single, sideyard, and rowhouses. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks. All single-family detached residential lots shall be within the T-4 zone.
- T6** This transect zone consists of the highest density and height, with the greatest variety of uses, and civic buildings of regional importance. It may have larger blocks; streets have steady street tree planting and buildings set close to the wide sidewalks.
- SD-C** This transect zone consists of areas with buildings that by their function, disposition, or configuration cannot, or should not, conform to one or more of the six normative Transect Zones.

Text excerpted from SMARTCODE V6.5/2005. Graphics from SMARTCODE V9.2/2009.

Intent

Effective design guidelines define what is important to achieve from a civic perspective in a manner that does not hamper creativity or innovation. When using these guidelines to review, develop or alter a project within George Washington Village it is as important to look to the intent of the recommendation as to the specific provisions. Thus these guidelines are intended to create a framework for future decisions regarding the built environment in George Washington Village.



A Traditional Neighborhood Development

Overview

All aspects of the built environment at George Washington Village must demonstrate a commitment to quality of design, materials, workmanship, durability, and maintainability.

Pedestrian level elements, street paving, landscaping, parks, open space, dwellings and public and private buildings must encourage and stimulate residents and visitors. Buildings, while expressing their individual function and character, must demonstrate harmony with their surroundings and reflect the discipline of a tightly knit environment. Materials and colors should reflect a respect for the overall context within which they are located.

Building Typologies

George Washington Village will have a variety of building and neighborhood types. The following examples demonstrate the currently envisioned typologies. The examples shown of each building type are meant to provide a visual reference point and are not intended to provide a definitive architectural design.

George Washington Village

Intent & Overview

Design Standards

Neighborhood Design Standards

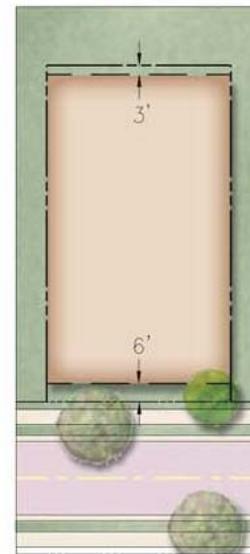
Type 1 - Single-family Residential

The following guidelines apply to single family detached homes.

A. Building Siting and Setbacks

1. There shall be a minimum front setback of six (6) feet in the T-4 Zone.
2. There shall be a minimum rear setback of three (3) feet in the T-4 Zone.
3. There shall be a zero (0) foot side setback in the T-4 Zone.
4. For homes facing onto a street, the primary entrance should be clearly visible from the street.

T-4 Lots



5. HVAC equipment shall be located in rear yards or side yards.

6. Permitted encroachments into the minimum setbacks identified above include the following:

a. Walls or Fences - The building line, yard requirements and setbacks shall not apply to retaining walls or other walls or fences.

b. Cornices, eaves, outside stairways, chimneys, air conditioners, and heat pumps.

c. Cornices and eaves shall be not less than five (5) feet from the vertical plane of any side lot line. Where a wall is located on a lot line, such projections may extend across the lot line.

B. Building Height

1. Buildings may be between one (1) and three (3) stories in height.

C. Exterior Walls

1. The public facades should be carefully articulated to provide pedestrian scaled architecture. The facades should include details that incorporate quality materials such as brick, stone, vinyl, concrete, and wood.

2. There should be a dominant material which is used on all facades of the building. Such materials may be wood, stone, shake shingles, vinyl siding, or brick. The use of an alternative and complementary material to establish a clearly articulated foundation is encouraged.

3. Exposed foundation walls will be made of brick, stone or painted concrete pressed with a brick pattern, other than in the T6 areas, where exposed foundation shall be brick or stone finish.

D. Fences

1. Rear Fences - Rear yard fences are only permitted for homes adjoining the adjacent home development at rear yards. Such fences shall be made of wood or wrought iron or as approved by the architectural review board and be a maximum of 7 feet in height.

2. Screening Fences - Wood fences of an appropriate size and height may be utilized to shield the vista of public utility facilities, or similar reasons as approved by the architectural review board.

3. Chain-link Fencing (except where required by law) and paneled materials are not permitted.

E. Garages

1. Garages should be an integral part of the design of the structure.

F. Decks, Porches, and Terraces

1. Balconies are permitted on any facade.

2. Decks are limited to the rear facade only. Porches must comply with setbacks and are allowed on any facade. Decks may be constructed of pressure-treated wood, vinyl-wrap, composite materials (such as "Trex"), metal, or a combination of these materials. These materials may be used for the walking surface as well as posts, balusters, and other features of the deck.

3. Decks on any single-family attached dwelling may have privacy screens not greater than 6 feet in height above the deck surface, and they will be designed as an integral part of the deck.

G. Ancillary Structures

1. Ancillary structures such as play structures and storage sheds may be permitted provided that such structures are located behind the principal mass of the building, and are constructed of materials and in a style compatible with the principal structure.

Type 2 - Townhouses

A. Building Siting and Setbacks

1. In the case of buildings fronting onto a street, the buildings should be placed close to the street with a stoop or front porch.

2. Transformers, CATV, and Telephone Distribution, etc. are to be located in rear yards where reasonably possible. HVAC equipment shall be located in rear yards or within the building.

3. In general, no more than ten (10) units should be sited in a continuous row and there should be a minimum separation between rows of townhouses of not less than 20 feet.



B. Exterior Walls

1. The public facades should be carefully articulated to provide pedestrian scaled architecture. The facades should include details that incorporate quality materials such as brick, stone, vinyl, concrete, and wood.

2. There should be a dominant material which is used on all facades of the building. Such materials may be wood, stone, shake shingles, vinyl siding, or brick. The use of an alternative and complementary material to establish a clearly articulated foundation is encouraged.

3. Exposed foundation walls will be of brick, stone, or painted concrete pressed with a brick pattern.

C. Fences

1. Rear and side yard fences - May be a maximum of six (6) feet in height.

2. Screening fences - Wood fences of an appropriate size and height may be utilized to public utility facilities, or similar reasons.



D. Decks, Porches, and Terraces

1. Balconies are permitted on any facade.

2. Decks and porches must comply with setbacks. Decks shall only be allowed on the rear facade. Porches are allowed on any facade.

3. Decks may be constructed of pressure-treated wood, vinyl-wrap, composite materials (such as "Trex"), metal, or a combination of these materials. These materials may be used for the walking surface as well as posts, balusters, and other features of the deck.

4. Decks should be of a scale and style that is complementary to the home.

5. Rails and posts are to be painted white, or consist of white colored materials (such as vinyl or composite materials). Wrought iron may also be used.

Type 3 – Apartment Buildings

These buildings will typically be between three and four stories in height. The public facades should be carefully articulated to provide pedestrian scaled architecture. The overall character of the architecture should clearly convey the appearance of residential use. This can be accomplished through the use of vertical window openings, balconies, bay windows, facade detailing and other devices. In the case of such structures located within the Town Center and which contain retail uses, the ground floor shops shall have a clear retail identity. This can be achieved through the use of different fenestration, individual shop entrances, canopies and signage.

Locating lobbies, party rooms & similar semi-public interior space is encouraged where no retail use is anticipated on the first floor of a portion of a building fronting on a street.



Building entrances should be clearly delineated. Since these buildings are generally located in the areas of the project that should have a fairly high level of pedestrian activity, the first floor of these buildings, even if residential, should maintain the essential character and articulation of the Main Street architecture.



Type 5 – Commercial Office (Future)

Commercial office is planned to be a significant component of the overall development of George Washington Village. Commercial office space is envisioned to be built in the future adjacent to the proposed Town Center on adjoining parcels. The buildings will generally be limited to four floors and will exhibit a high quality of design. Inclusion of special features such as articulated building tops should be included in any design.

Because retail will generally be located in the base of the buildings it is also necessary that ground floor facades exhibit a strong retail identity through the devices identified above. Parking and loading access should be located service areas or secondary streets away from the principal retail frontages or building entries.



A Traditional Neighborhood Development

Type 6 – Garages

Free standing parking garages should be designed in such a fashion that they have minimal negative impact on adjacent streets and sidewalks. This can be accomplished through the use of interesting facade treatments, planting and landscaping adjacent to or incorporated into the structure and other similar devices wherever the garage is not faced with residential or other commercial functions.

Type 7 – Civic Buildings

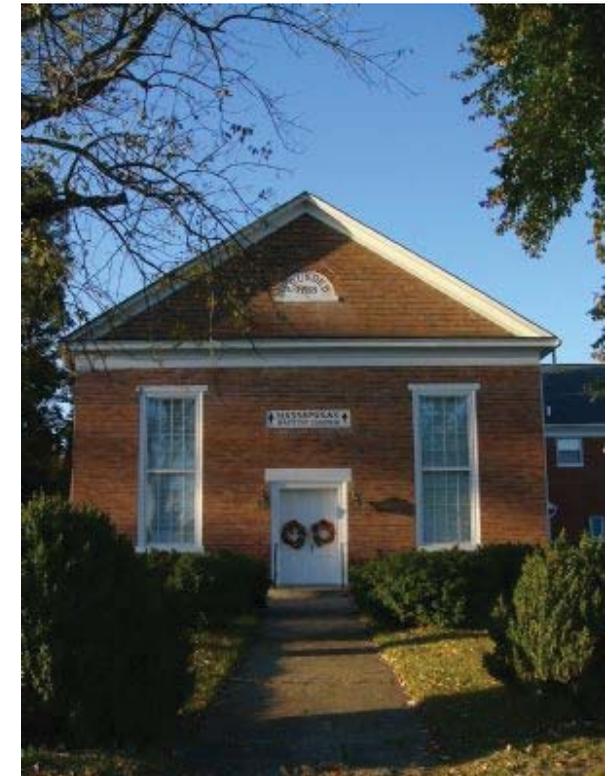
Because they are reflective of and owned by the community as a whole, civic buildings will be a critical component in establishing George Washington Village's sense of place, character and identity. As such, the design of these buildings is of special importance. The purpose of civic buildings ranges from libraries, to schools, fire stations, maintenance facilities and many others. In addition, quasi-public institutions such as churches and private community buildings are also important in the social and civic life of a community and should be the recipients of an equal level of architectural consideration.

George Washington Village

There are certain essential components to the design of civic buildings. A building's architecture should reflect its use. A church should be readily identifiable as a church, a fire station as a fire station, etc. This does not mean that every church should have a spire or that every fire station has a hose drying tower. It does mean that there should be sufficient visual cues included in the design so that its function is readily identifiable to the casual observer.



Except for maintenance facilities and other back of house functions, civic buildings should be placed in prominent, highly visible locations such as key intersections, the terminus of important vistas or in conspicuous locations in or adjacent to public parks and squares.



Type 8 – Free Standing Retail

In addition to the Town Center, smaller scale retail and service commercial areas will be located in or adjacent to each village. These free standing retail areas should be designed so as to be compatible with the overall visual identity of George Washington Village, to the extent possible.

- The use of canopies, awnings and similar devices is encouraged as are outdoor dining areas where appropriate.
- In the case of automobile oriented uses such as gasoline stations, perimeter and internal landscaping is strongly encouraged.
- If one or more free standing retail/service commercial establishments are located together, dumpster and trash areas should be aggregated, placed in an inconspicuous location and screened from view.
- Noise-producing mechanical equipment shall be located and screened so as to eliminate or reduce impact upon adjacent uses.
- Roof-top mechanical equipment shall be screened by an appropriate barrier or enclosure.

- Flues, vents, and pipes on the roof shall be painted a flat black or a color that matches their background or roof material color in order to reduce their visibility.
- Signal control boxes and similar devices shall not be located as to be a hindrance to pedestrians and, whenever possible, shall be located in adjacent buildings or at back of sidewalk.

Parking

Within George Washington Village automobile parking must be accommodated. The following guidelines are intended to provide direction in how to minimize the impact of parking on the streetscape.



Parking Lots

- Parking must be screened by natural vegetation, new landscape material, walls, and/or landscaped berms. Evergreen shrubs (maximum 30" height) shall be used to screen bumpers, wheels and paving while allowing for surveillance. Screening shall also be effectively used between parking lots and buildings.
- Parking lots should contain planted islands to break up the mass of paving, with islands large enough to contain deciduous trees at least 3 inches in caliper unless impacted by utility easements.
- Light fixtures shall be selected and located so as to avoid glare and high intensity. High pressure sodium vapor (yellow-orange) lighting is prohibited. (See design guidelines for Lighting).

Parking Decks and Garages

- Structured parking shall be designed to include architectural features & details to minimize the appearance of bulk.
- Exterior finish materials of structured parking shall have a general quality and appearance compatible with the architectural components of adjacent buildings.

- Primary faces of parking garage structures (those facing major streets) shall have horizontal floors instead of slopes.
- Structures should be screened by plant material where it is appropriate; especially in situations where long elevations of the structure are visible from adjacent streets.
- Primary access to parking structures shall be from external streets.
- Lighting for both the exterior and interior (if visible from the outside) shall be designed and located to avoid glare and excessive brightness. High pressure sodium vapor (yellow-orange) lighting is prohibited.
- Light fixtures on the top of a parking structure shall be a "cut-off" type to reduce glare, with a recommended height of no more than 20 feet above the deck surface.





Character Of Buildings within the Town Center

The architecture of George Washington Village and the visual synergy between the individual buildings and the streets and other public spaces will be a critical element in achieving the sense of place. It is important that the buildings be constructed close to the street's "build to" line and have a continuity between the structures in the community in terms of scale and composition while, at the same time, allowing for architectural innovation and creativity.

The following guidelines are meant to define those elements of the buildings which are most important while providing sufficient flexibility to create a dynamic urban environment which balances consistent urban design with architectural diversity. In no manner are these guidelines to be construed as dictating a particular architectural style or approach.

- Buildings shall have a defined base, middle, and top.
- The design vocabulary used for the individual buildings should reflect the principal use of the structure whether it is retail, residential, office or public.

- Retail only buildings should be made readily identifiable as such through the use of signs, awnings, building massing, window displays and other techniques.
- In the case of non-retail buildings with retail uses on the ground floor, the mercantile character of the use should be clearly evident through the use of signage, awnings, display windows or other mechanisms.
- Entries into retail spaces should be from the street where ever possible and buildings should be pre-dominantly oriented to pedestrian spaces.
- Non-retail buildings without ground floor retail uses shall present an interesting facade to the street and shall reflect a pedestrian scale. Methods for achieving this include the use of false display windows, public art & articulation of the facade through changes in materials or architectural detailing at the first floor.
- The overall color of the buildings should be light in character although darker materials or colors may be used for accents and to call attention to specific architectural features.

- Long expanses of wall unrelieved by fenestration or architectural articulation are to be avoided.
- Building entries should be clearly delineated and readily visible.
- It is the intent of the planning at George Washington Village to provide a pedestrian friendly environment throughout the area but especially within the Town and Village Centers. To that end the streetscape should be a lively and inviting place with a full array of pedestrian amenities such as benches, trash receptacles, high lighting levels, etc.
- Mechanical equipment, whether located on the top of buildings in the case of commercial and some residential structures or ground mounted should be screened from view in an attractive yet unobtrusive manner.
- Articulation of building tops is encouraged in order to create a more interesting skyline to the overall development and to individual buildings. This may be accomplished in a number of different ways including manipulation of the parapet, introduction of tower elements at entrances and/or strategic corners & use of setbacks in the upper building floors.

Vista Terminations

Within the Town Center several vista termination points have been identified. According to the Stafford County Zoning buildings at the end of a vista termination should be “. . . designed in response to the view along this axis thought its articulation, elevation and/or location. . .” Therefore the following standards should be considered:

- Particular attention should be made to insure the visibility of the commercial and/or civic buildings that are ultimately constructed at the termination of the vistas.
- Excessively large signage or other visual cluster should be avoided in front of these structures.
- The architectural style, types of materials, and material colors that are used should generally mimic those of the other Town Center buildings and as previously defined in these standards. However, architectural features, such as a clock tower, columns, or other ornamentation should be incorporated into the design.
- Public art or a fountain may also be appropriate at the vista termination.

Awnings & Canopies

Awnings can be an important element in creating retail identity. However, awnings should complement the architecture, not compete with it. In general, they should accent windows and doorways. Awnings which span the width of the facade or a substantial portion should not be allowed. Internal illumination should be allowed. Building canopies should be permanent structures that highlight building entries. Residential or hotel canopies may extend to the back of curb. Attachment or incorporation of the building name and/or address on canopies is encouraged. Specific guidelines are as follows:

- Fabric awnings or canopies generally should be simple in design with subdued patterns and a minimum of colors. Multiple or repetitive signage, logos, and/or advertising are generally not permitted.
- Awning or canopy edges must be straight. Scalloped or crenulated edges are not permitted.

Banners

There are two types of banners. Decorative or seasonal banners, generally vertical in design, are a proven method of introducing both color and continuity into urban spaces and are normally mounted on light standards but may be in stand-alone arrays. Announcement or event banners may be designed to be placed on the same brackets as decorative banners or, more commonly, are horizontal in nature and stretch from one side of the street to the other. Should decorative or seasonal banners be used at George Washington Village they should be part of a system where the content is changed at least four times a year. Announcement banners, if approved, should be put in place no sooner than two weeks before the event and removed within a reasonable time thereafter. Specific guidelines relating to banners are as follows:

- All banners relating to individual retail or office promotions, hiring or advertising are prohibited.
- Banners for specific community-oriented events such as festivals or holidays are encouraged.
- Approved banners must be professionally fabricated of durable, weather-resistant material.

Vending Carts

Vending carts can be an attribute to the urban environment. They provide additional vitality to the street and offer alternative places to dine and shop, as well as allowing persons with small amounts of capital to enter into the business world. However, carts can also be detrimental if poorly designed, located or maintained. Following are specific guidelines for vending carts:

- Carts (such as food or beverage carts) shall be constructed of quality materials and finishes, with signage and graphics professionally prepared.
- Overall dimensions generally shall not exceed six feet by ten feet, with a maximum height of nine feet including any awning.
- The location of carts must not interfere with pedestrian or vehicular traffic and must not create problems with respect to noise, illumination, sanitation or visual clutter.



Communications Equipment

Access to modern telecommunications is critical for business and is becoming increasingly important for the individual as well. However, if not properly allowed for the various dishes, antennas and wiring are detrimental to creating a pleasing and harmonious design. The following guidelines describe acceptable practices for commercial telecommunications infrastructure.

- The location and screening of communications equipment such as satellite dishes or antennas shall be considered an integral part of the building design.
- The size, location, and amount of equipment must not detract from the architectural integrity or appearance of the building.
- Satellite dishes are not permitted on balconies in buildings where rooftop areas are provided for such installations.

- Dishes or antennas shall be placed behind parapet walls or be centrally located on the roof and be screened in such a way as to be visually unobtrusive from the ground or from lower buildings on the site.
- Generally, dishes or antennas shall be painted to match their background building color.
- Satellite dishes may not be used for signage or advertising purposes or be illuminated.
- Stand-alone cell phone towers should be designed to be as visually unobtrusive as practicable.
- Permanent perimeter or property line fencing or walls in commercial areas are prohibited, except for security purposes and for retaining walls which provide topographic relief.
- Electrical, mechanical or other equipment within the property may be secured by fences, walls, landscaping or other barriers. Such walls or fences shall be consistent with the architecture of adjacent buildings, be integrated into the overall design and not obstruct pedestrian or vehicular movement.
- All efforts shall be made to locate such facilities away from the public view. Security gates or barriers are generally prohibited except for situations where security is essential. The design and color of such gates or barriers must be consistent with that of adjacent buildings and the overall urban design.
- Permanent chain link fences are prohibited except as approved by an architectural review board. Such fences shall be vinyl-coated black, dark brown or dark green color. Posts must be wood or metal painted black, dark brown or dark green. Galvanized (silver) chain link fencing (except for temporary construction) is prohibited.

Privately owned residential dishes should be located so as to be not readily visible from streets and sidewalks whenever possible.

Fences, Walls And Barriers

Fences, walls and similar installations are necessary parts of the urban environment and can be either positive or negative depending upon their purpose, location & design.

- Temporary fencing that is required during construction must be removed once the construction is substantially complete.

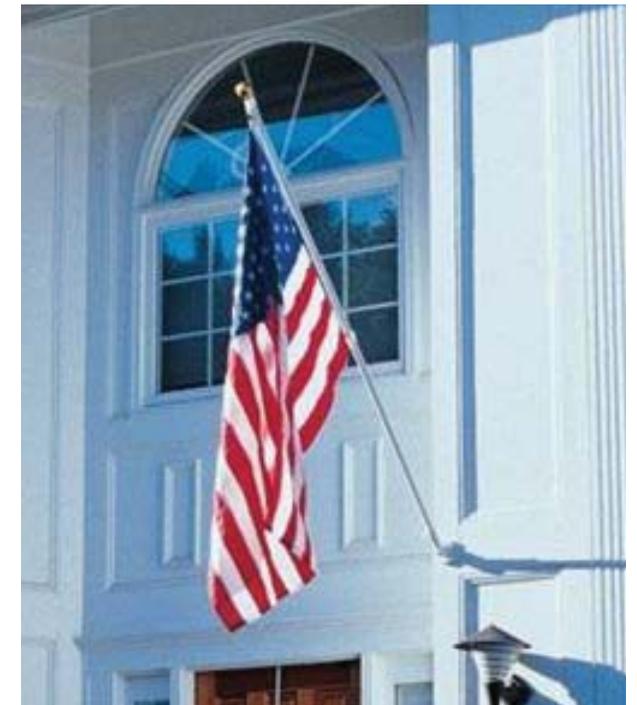
- The maximum height of any fence or wall shall be six feet unless permitted by County regulations.
- In general, fences, walls and gates should be located so as to be as inconspicuous as possible to public view.
- Fences, walls, and gates may require screening by berms and/or landscaping in order to soften their visibility from adjacent streets.

Flag Poles & Flags

The use of flags either as a method of conveying public spirit, identifying public spaces or buildings or establishing corporate identity is a common practice in cities & towns. However, the overuse or indiscriminate use of flags should not be allowed except when used to commemorate or acknowledge public events or celebrations. The following guidelines outline appropriate use of flags in George Washington Village.

- The height of the flag poles should relate proportionately to each other.
- The color of the flag pole should match that of the building trim or the parking lot light poles, depending on the location.
- No more than two flags may be flown on any pole.

- Only one corporate identity flag may be used on any building or flag array.
- In the case of flag arrays in public spaces, the location of the poles shall be consistent with the overall design and shall not provide an impediment to pedestrian movement.
- Illumination of flags may be approved if the illumination is discreet and does not result in glare being projected onto adjacent streets or properties.



Recreational Facilities / Play Equipment

- Recreational facilities such as tot lots, swimming pools, picnic areas, volleyball courts, tennis courts, basketball courts, or similar amenities shall be located and designed to be attractive and visually unobtrusive.
- Landscape material may be required to screen the facility from public view from streets and neighboring properties.
- Any play equipment made of wood shall be left to weather naturally. Any permanent (non-movable) play equipment made of metal or plastic shall have muted colors.
- Any fencing associated with a play area or tennis court shall be in conformance with the fencing criteria within this document.



Service, Loading, & Dumpster Facilities

As is the case with electrical and mechanical equipment as well as parking areas, service, loading and trash pickup facilities are a necessary but often unsightly part of the urban landscape. However, careful provision for these facilities can decidedly reduce their visual impact while still enabling them to function efficiently.

- Service areas, loading facilities, and trash dumpster areas shall be designed to blend harmoniously with the overall building design, materials, and colors. If these areas or facilities are not located within the building, they must be screened from public view by berms, walls, fences, plant material or other appropriate means.
- Individual trash dumpsters or trash areas must be screened or hidden by walls, fences, plant material or other appropriate means.
- Trash dumpster enclosures shall be constructed of a substantial material such as wood or masonry and include secure, selfclosing gates.
- Chain link fence enclosures either with or without "slats" or inserts are prohibited.

Signage - Exterior, Permanent

The quality, quantity and overall appearance of signs is a critical component of urban spaces. When well designed, signs promote commercial activity, provide color and interest to the streetscape and provide necessary information. When poorly designed the effect is exactly the opposite. The following guidelines are intended to provide direction in the design, size and placement of signage throughout the development and interface with a future comprehensive signage program.

- Signs for retail businesses shall be distinctive from their neighbors in terms of color, graphic design and other elements. Cohesiveness should be derived for generally common placement, size materials and design approach.



- The allowed signage area shall be determined by the use and the character of the adjacent roads. Store fronts and buildings along pedestrian streets can communicate more information and generally be smaller than for major streets where signage should be larger but very simple in order to communicate effectively.
- Retail sign packages shall consist of three levels of signs; one that communicates with motorists and the person across the street; a smaller sign aimed at the person down the block and, finally; a combination of signs and high quality storefront design that reaches out to the person immediately in front of the shop. Window signs shall cover no more than 10% of the window area. Projecting retail signs are encouraged.
- Marquee signs are encouraged for businesses where such signs are traditional such as movie or performance venues.
- Each building, with the exception of retail only buildings shall have a readily visible address and, in the case of named buildings, an identification sign. Such signs shall be visible to both pedestrians and motorists. These may be incorporated into the building canopy.

Monument or Free Standing Signs

- A monument or free standing sign may be located at the entrance to a project.
- The lettering style should be simple and straightforward, with the size of letters scaled to pedestrian and vehicular sightlines from the street.
- Any illumination must not create glare or excessive brightness. External light fixtures for monument signs should be concealed or screened by landscaping and directed so that no glare impacts motorists. High pressure sodium vapor (yellow-orange) lighting is specifically prohibited.



Building "Signature" or "Major Use" Signs

- Generally, two building "signature" or "major use" signs (as determined by the owner of the building) are permitted on the top level of any one building.
- Roof-mounted signs or signs protruding above the building roof line or above the parapet wall are not permitted.
- "Signature" signs should consist of individual, pin-mounted letters, (illuminated or nonilluminated).

- In general, for buildings up to three stories in height, "signature" signs may have letter or logo heights of up to 36 inches. For buildings taller than three stories these signs may have letter or logo heights of up to 48 inches. Larger letter or logo sizes depending upon the sign's length, design, color, location, visibility and illumination may be permitted by approval of an architectural review board.

Tenant Signs

- Each office building is allowed to have two signs adjacent to the principal entrance that lists the major building tenants.
- Tenant signs other than the building "signature" or "major use" signs are generally permitted only on the first or ground level of a building and shall be pedestrian friendly. Signs may be allowed on the second level of a building in cases where a suitable sign area has been provided as part of the architectural elevation and where visibility of the sign is an issue.
- The style and height of letters should be standardized and should relate to the size of the area to which the sign will be attached. Generally, a height of 8 to 14 inches is appropriate. Signs or logos with larger letters or characters may be approved depending upon factors such as the sign's overall length, height, location, visibility, color, illumination, etc.

- First level window signs may be permitted depending upon their size and location.

Illuminated Signs

- External illumination fixtures, most appropriately used for wall mounted retail signs shall be permanently mounted and the light source permanently directed.
- Halo illumination is preferred to internally illuminated signs. Internally illuminated "box" signs are prohibited.
- Illuminated signs shall not disturb nearby uses, particularly residential uses, and shall not create glare or excessive brightness.
- High pressure sodium vapor (yellow-orange) lighting is specifically prohibited.
- Fixture styles should complement the architectural style or character of the building.
- Building-mounted sign conduits, transformers, junction boxes, etc. must be concealed or painted so as to make them as inconspicuous as possible.



Signage - Exterior, Temporary
Temporary signs shall comply with the appropriate Stafford County regulations.

Security Cameras

- The location of exterior security systems such as closed-circuit television cameras shall be considered as an integral part of the building's design.
- Systems shall be selected and located so as to be visually inconspicuous and must not detract from the building's appearance.
- Design solutions shall emphasize locating security cameras behind windows or glass screens or incorporating cameras within architectural elements of the building.
- In situations where cameras, housings, brackets, conduits, and other mounting hardware cannot be hidden, they shall be painted to match the color of the building surface to which they are attached.
- Cameras and supports shall not extend above the roof line or protrude beyond the corners of a building.
- Any pole-mounted cameras shall be kept to a minimum number and must be painted to match the color of the poles.



Town Center and Commercial Area Streetscape

The success of the streetscape design is of critical importance to the overall success of the project aesthetically and commercially. Consisting of the street, the sidewalk, the street furniture and the facades that front on to it, the streetscape is the interrelationship between all of these elements. Character of building and other important elements such as parking and loading as well as utilities and infrastructure are discussed elsewhere in this document. The following recommendations are intended to provide guidance in the development of the other components of the streetscape.

- Sidewalks may be concrete, brick or other acceptable material but should incorporate decorative elements such as paver banding, interesting patterning in the concrete or other elements.
- Street trees shall be planted in tree grates located within the sidewalk/streetscape. The trees shall be spaced not more than 30 feet on center. Variations in the street tree pattern to acknowledge building or store entrances and other significant features shall be allowed.
- Decorative banners are encouraged.

- Street furniture, including but not limited to bollards, benches, trash receptacles, and bike racks shall be selected from commercially available models with combined user comfort, low maintenance and high vandal resistance. Street furnishings shall be placed so as to not impede pedestrian traffic. Street furnishings shall be of high quality and consistent with the style and color of the selected streetscape light fixtures as well as other elements in the approved master plan.
- Pedestrian crosswalks at public streets shall be clearly delineated by paint or a change in texture and/or materials.

Festival Street

At least one street within the Town Center should be designed to accommodate public events such as festivals, community gatherings, parades, fairs and similar public rituals which are important components of civic life. The design of the festival street and the surrounding buildings should allow for the street to be blocked off while still allowing access to parking and loading areas and building or shop entrances. This street should have an increased level of amenities such as benches, additional trash receptacles, power access points, etc. to support this function.



Wayfinding Signage

Wayfinding signage is used in urban design to direct travelers within the community to locations of significance and assist them when choosing a path within a built environment. In addition, it assists with parking management strategies that help drivers find parking areas. George Washington Village will use a series of coordinated and similar wayfinding signage. These signs may be used in addition to the permanent monument, retail, or subdivision signage previously discussed. Typical signage types are demonstrated below.



Note: Materials, colors and text may vary with final design.

Residential Sales Signage

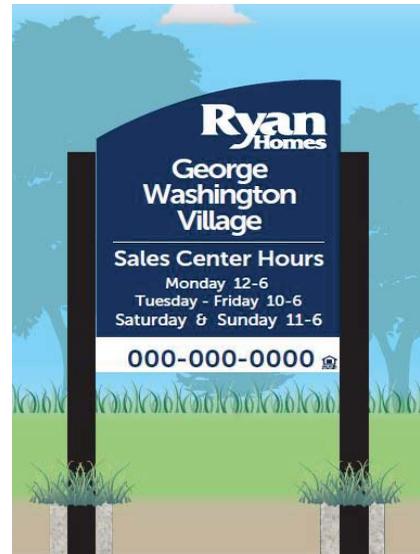
Residential sales signs are an important means of providing information and directing potential homebuyers to different sections of a new development; particularly a project of the size and scope as George Washington Village. These signs are not intended to be permanent but instead shall only be in place during the development of the project and sale of new homes. Given that George Washington Village will be developed over a number of years and signs may be in place for an extended period of time it is important that sales sign be consistently designed, well constructed, and adequately maintained. Typical signage types are demonstrated below.

Site Signs



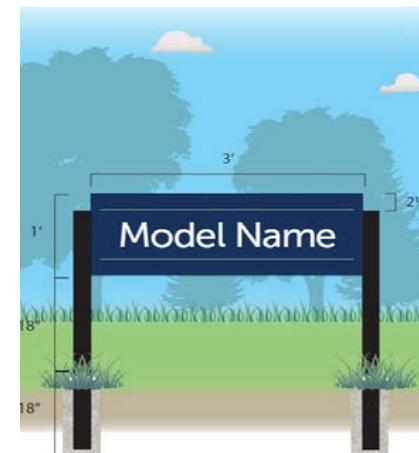
- Double-faced
- 4' x 8'
- Poly metal panels
- Digitally printed
- Square Aluminum posts

Sales Center Signs



- Single-faced
- 3' x 4'
- Poly metal panels
- Digitally printed
- Square Aluminum posts

Model ID Signs



- Single-faced
- 3' x 1'
- Poly metal panels
- Digitally printed
- Square Aluminum posts

Brochure Boxes



- Standard 14" x 24" Plexi Box
- Square Aluminum posts

Note: Materials, colors and text may vary with final design. All designs by NHM, Inc.

Residential Sales Signage (Continued)

ADA Information Signs



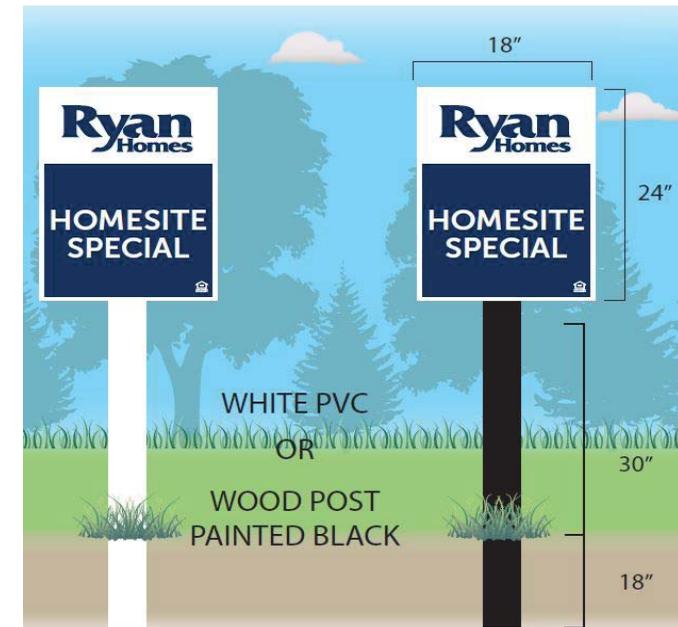
- Single-faced
- 12" x 18"
- Poly metal panels
- Digitally printed
- Square Aluminum posts

Model Parking Signs



- Single-faced
- 12" x 18"
- Poly metal panels
- Digitally printed
- Square Aluminum posts

Homesite Special Signs



- Single-faced
- 18" x 24"
- 4 Mil coroplast
- Screen print
- Aluminum posts

Note: Materials, colors and text may vary with final design. All designs by NHM, Inc.

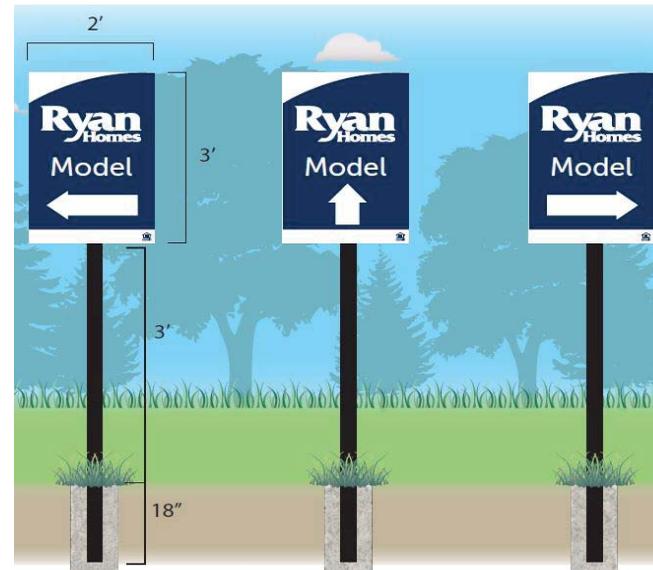
Residential Sales Signage (Continued)

A-Frame Signs



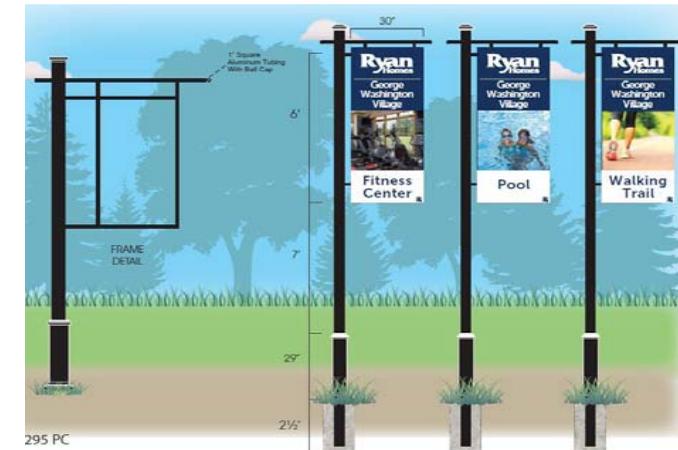
- Double-faced
- 2' x 3'
- Plasticade A-Frame

Directional Pole Signs



- Single-faced
- 2' x 3'
- Poly metal panels
- Digitally printed
- Square Aluminum posts

Amenity Signs



- Double-faced
- 30" x 72"
- Aluminum Panels
- Digitally printed
- Square Aluminum posts

Note: Materials, colors and text may vary with final design. All designs by NHM, Inc.

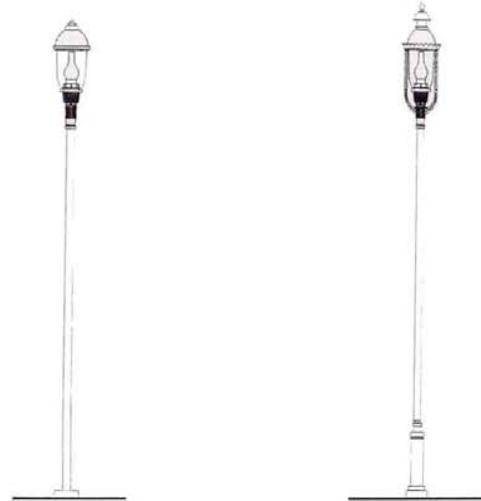
Residential Sales Signage (Continued)

Burma Shave Signs



- Single-faced
- 3' x 4'
- Poly metal panels
- Digitally printed
- Square Aluminum posts

Note: Materials, colors and text may vary with final design. All designs by NHM, Inc.



Residential Area Street Lights



Commercial/Civic Areas Street Lights

SPECIFICATIONS	SPECIFICATIONS	SPECIFICATIONS	SPECIFICATIONS	SPECIFICATIONS
Style	Type V Narrow	Type V Narrow	Type V Narrow	Type V Narrow
Color	Black	Black	Black	Black
Finial	A	A	A	A
Roof	B	B	B	B
Reflector	F	F	F	F
Globe	R51	R51	R51	R51
Cage	G	G	G	G
Ballast	70H	70H	70H	70H
Pod	B	B	B	B
Bracket	NA	NA	NA	NA
Signage	Signage	Signage	Signage	Signage
Pole Style	Pole Style	Pole Style	Pole Style	Pole Style
Base	P2500	P2500	P2500	P2500
GENERAL REQUIREMENTS	GENERAL REQUIREMENTS	GENERAL REQUIREMENTS	GENERAL REQUIREMENTS	GENERAL REQUIREMENTS
Level of Detail	Low	Medium	High	High
Base Height	None or Ankle High	Caif High	Waist High	Waist High
Pole Length	8 to 10 Feet	10 Feet	12 Feet	12 Feet
Footcandles	Medium	Bright	Bright	Bright
Dark Sky	*Cut Off*	*Semi-Cut Off*	*Semi-Cut Off*	*Semi-Cut Off*
Mounting Type	Pole	Pole	Pole, Bracket or Cable	Pole, Bracket or Cable



Lighting

Lighting shall be located and mounted to ensure safety and to minimize maintenance burdens. Traditional style cutoff fixtures shall be used for residential areas in all transect zones. This fixture shall be fabricated with a system to prevent disability glare and be mounted approximately 14 feet above grade. Average lighting levels for street lights measured at the building frontage shall not exceed 2.00 fc (foot candles). All fixtures shall comply with the International Dark Sky Association (IDA) standards. Such lighting shall be designated on the construction plan for each section of George Washington Village and shall follow all Federal and Local standards for placement and intensity. The lighting plan shall also conform to Lighting Plan Guidelines listed in Stafford County's Zoning Ordinance.



Benches

Benches shall be uniform in appearance throughout the transect zone. The chosen materials should be compatible with the surrounding architecture, durable and weather resistant.



Bollards

Bollards shall complement the architectural style of the streetscape and should be aesthetically pleasing in their appearance and placement in the space.



Trash Receptacles

Trash receptacles shall complement the architectural style of the streetscape and should be aesthetically pleasing in their appearance and placement in the space. Trash receptacles shall be easily accessible for pedestrians and trash collection. Their design should relate to other site furnishings as well as building architecture. They must be carefully placed to be unobtrusive yet effective. On paths where bicycling is permitted, maintain a three foot (3') setback from the edge of the bike path.



Bus Shelters

Bus shelters shall be constructed of structurally sound materials and provide visibility of waiting passengers to passing traffic and pedestrians. All transparent materials shall be shatter proof. No shelter may be located in such a manner, or be constructed of such materials, as to adversely affect sight distance at any intersection or obstruct the view of traffic signs or other traffic control devices.

Mailbox

Mailbox design shall be black aluminum with black decorative cap and pedestal and their location shall conform to the rules and regulations of the U. S. Postal Service.



Bike Racks

Bike racks need to support the whole bike (not just one wheel) and enable the user to lock the frame and wheels of the bike with a cable or "U-shaped" lock. The racks shall be installed on a wide sidewalk with five (5) or more feet of clear sidewalk space remaining. The racks shall be installed in a manner to prevent theft of the rack. The racks shall be a minimum of four (4) feet from fire hydrants, curb ramps, and building entrances. Bike parking is encouraged to be constructed with a covered shelter and in plain view.

