

STAFFORD COUNTY

MASTER REDEVELOPMENT PLAN



VOLUME VIA: CULTURAL RESOURCES REPORT

FALMOUTH VILLAGE

OCTOBER 2009 | ADOPTED MAY 17, 2011



CMSSARCHITECTS

R11-150

BOARD OF SUPERVISORS
 COUNTY OF STAFFORD
 STAFFORD, VIRGINIA

RESOLUTION

At a regular meeting of the Stafford County Board of Supervisors (the Board) held in the Board Chambers, Stafford County Administration Center, Stafford, Virginia, on the 17th day of May, 2011:

MEMBERS:

Mark Dudenhefer, Chairman
 Paul V. Milde III, Vice Chairman
 Harry E. Crisp II
 Gary F. Snellings
 Cord A. Sterling
 Susan B. Stimpson
 Robert "Bob" Woodson

VOTE:

Yes
 No
 Yes
 No
 Yes
 Yes
 Yes

On motion of Mr. Sterling, seconded by Mr. Crisp, which carried by a vote of 5 to 2, the following was adopted:

A RESOLUTION TO AMEND THE STAFFORD COUNTY COMPREHENSIVE PLAN IN ACCORDANCE WITH SECTION 15.2-2229 AND SECTION 15.2-2230 OF THE CODE OF VIRGINIA (1950), AS AMENDED, BY ADOPTING THE PROPOSED AMENDMENT, AS ADVERTISED, INCLUDING A NEW ECONOMIC DEVELOPMENT ELEMENT, ENTITLED "STAFFORD COUNTY MASTER REDEVELOPMENT PLAN," DATED OCTOBER, 2009, AS REVISED BY THE PLANNING COMMISSION AT ITS MEETING ON MARCH 15, 2011

WHEREAS, under Section 15.2-2229 of the Code of Virginia (1950), as amended, the Board may amend its Comprehensive Plan; and

WHEREAS, under Section 15.2-2229 of the Code of Virginia (1950), as amended, the Planning Commission (the Commission) has been directed by the Board to prepare and consider Comprehensive Plan amendments; and

WHEREAS, under Section 15.2-2230 of the Code of Virginia (1950), as amended, the Commission can review the Stafford County Comprehensive Plan to determine whether it is advisable to amend the Comprehensive Plan; and

WHEREAS, the proposed amendment to the Comprehensive Plan would amend the Comprehensive Plan by adopting a new economic development element entitled "Stafford County Master Redevelopment Plan," dated October, 2009, with recommendations for changes to existing County ordinances, policies, and procedures to serve as a framework to guide the coordinated and harmonious development of the County's four Redevelopment Areas: Boswell's Corner, the Courthouse area, Falmouth Village, and the Southern Gateway, as revised by the Commission at its meeting on March 15, 2011; and

WHEREAS, the Commission duly advertised and held a public hearing on April 20, 2011, on the proposed Comprehensive Plan Amendment, received a recommendation of County staff supporting approval of the proposed Amendment, received public testimony, decided on a 4-3 vote to recommend approval of Volume II and decided on a 5-2 vote to recommend approval of Volumes I, III, IV, V, VI, VII, VIII, IX, and X, and has forwarded its recommendation of approval of the proposed Comprehensive Plan amendment to the Board; and

WHEREAS, the Board duly advertised and held a public hearing on the proposed Comprehensive Plan Amendment on May 17, 2011, at which time public testimony was received and the above-referenced Comprehensive Plan Amendment was considered by the Board; and

WHEREAS, the Board has carefully considered the recommendations of the Commission, the recommendations of County staff, and the public testimony at the public hearing; and

WHEREAS, the Board concludes that the adoption of the proposed Comprehensive Plan Amendment, as advertised, will guide a coordinated and harmonious development of the County's four Redevelopment Areas: Boswell's Corner, the Courthouse area, Falmouth Village, and the Southern Gateway which will, in accordance with the present and probable future needs and resources of Stafford County, best promote the health, safety, morals, order, convenience, prosperity and general welfare of the citizens of Stafford County, Virginia, including the elderly and persons with disabilities; and

WHEREAS, the Board concludes that the adoption of the proposed Comprehensive Plan Amendment, as advertised, is consistent with good planning practices.

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NOW, THEREFORE, BE IT RESOLVED by the Stafford County Board of Supervisors on this the 17th day of May 2011, hereby adopts the proposed Comprehensive Plan Amendment, as advertised, by approving a new economic development element, entitled "Stafford County Master Redevelopment Plan," dated October, 2009, as revised by the Commission at its meeting on March 15, 2011.

BE IT FURTHER RESOLVED that the maximum allowed dwelling units in the Boswell's Corner Redevelopment Area is modified to a maximum of 744 units.

A Copy, teste:



Anthony J. Romanello, ICMA-CM
County Administrator

AJR:bjj:f

STAFFORD COUNTY MASTER REDEVELOPMENT PLAN

The efforts of the *Phase I: Research & Program Development* and *Phase II: Concept Master Redevelopment Plan* have been combined into five separate volumes. In addition, three additional volumes contain the detailed Cultural Resources Report on each of the four redevelopment areas, as well as examples of Cultural Resources Legislation. Each volume, on each of the four redevelopment areas, stand alone along with the overall Stafford County General Research & Planning section. Each of the four redevelopment area's respective volume integrates the specific Phase I research and Phase II planning efforts. The volumes do not refer separately to Phase I or II efforts, since they are now combined into a book specific to the corresponding redevelopment area.

The volumes have been separated as follows:

VOLUME I

Stafford County: General Background Research & Planning Concepts

VOLUME II

Boswell's Corner

VOLUME III

Courthouse Area

VOLUME IV

Falmouth Village

VOLUME V

Southern Gateway

VOLUME VI

- A. Cultural Resources Report for Falmouth Village
- B. VDHR Forms for Falmouth Village

VOLUME VII

- A. Cultural Resources Report for Boswell's Corner, Courthouse Area, & Southern Gateway
- B. VDHR Forms for Boswell's Corner, Courthouse Area, & Southern Gateway

VOLUME VIII

Examples of Cultural Resources Legislation

VOLUME IX

Stafford County Traffic Data

VOLUME X

Stafford County Infrastructure Analysis

A Phase IA archaeological assessment and Phase I Reconnaissance-level architectural survey of 169.5 Acres in the Village of Falmouth, Stafford County, Virginia, for the Stafford County Redevelopment Master Plan.

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August 2008
Revised June 2009

CRI Project No. 08-1311

August 12, 2008

ABSTRACT

In April and May of 2008, Cultural Resources, Inc. (CRI) conducted a Phase IA archaeological assessment and Phase I Reconnaissance Level Architectural Survey of 169.5 acres in the Village of Falmouth, Stafford County, Virginia. The survey was conducted on behalf of Stafford County for the development of a Redevelopment Master Plan.

ARCHITECTURAL DESIGN GUIDELINES

A total of 90 previously identified and 13 newly identified architectural resources were surveyed during this project, of which only three were not included within the boundaries of the Falmouth Historic District (089-0067). All resources within the District are eligible for listing on the NRHP as contributing resources to the District. Architectural Design Principles will be developed as a separate document. *These design principles within the Falmouth Historic District should reflect the evolution of architectural styles that is currently present.* Regulation and enforcement of these principles will require an act of legislation. Similar acts from cities and counties around Virginia are included in Appendix C.

Additionally, *the team recommends that commercial development within Falmouth be restricted to West Cambridge Street, Cambridge Street/Route 1, and Butler Road/Route 17, with the secondary streets maintaining their residential feel.* The regulation of new construction within the Historic District will require an act of legislation, similar to the Fredericksburg Historic District Ordinance enacted to protect that city's historic, architectural, and cultural significance (Appendix C).

ARCHAEOLOGY

The ten previously identified archaeological resources within the project area were revisited to update their current conditions. During the course of the survey and documentary research, several new potential archaeological resources were identified. These resources include a surface feature within the yard of the eighteenth century Dunbar Kitchen at 107 Carter Street that may represent the original main dwelling and the numerous extant privies associated with early nineteenth century houses throughout the project area.

In an effort to learn more about the industrial age of Falmouth and aid in the development of heritage tourism, *the team recommends a Phase I Archaeological Survey of the Falmouth Beach Park, River Road Park, St. Clair Brooks Park, and Falmouth Union Church and Cemetery areas* to aid in the location of the 1675 fort at Falmouth, the original docks, public wharves, warehouses, and ferry houses. In addition, *the team recommends that the county require a Phase I Archaeological Survey be conducted on vacant lots within the Village of Falmouth prior to any ground-disturbing activities*, in an effort to locate and collect information on factories, warehouses, commercial buildings, and dwellings related to the development of Falmouth. *The regulation of these processes may require an amendment to the current Cultural Resources Management Plan.* Similar acts and ordinances from cities and counties around the state are included in Appendix B. Ideally, the position of County Archaeologist should be created to regulate and enforce cultural resource legislation. The team understands that the creation of a County Archaeologist position is outside the scope of this project; however, we recommend that the creation of this position be considered for the future.

BELMONT-FERRY FARM TRAIL

The proposed Belmont-Ferry Farm Trail is currently planned to include Belmont, West Cambridge Street, River Road/King Street, and St. Clair Brooks Memorial Park (Figure 392). *The team recommends that the West Cambridge Street portion of the Phase 5 segment of the trail be extended to follow Carter Street, leading to the Falmouth Union Church and forming a loop to the Phase 3 segment of the trail at St. Clair Brooks Memorial Park. The team further recommends signage at the following places along the trail:*

- Phase 3: Archaeological sites 44ST0098 and 44ST0083, 305 King Street (089-0067-0031), describing the historical significance of each; facing the Rappahannock River, describing the historic waterfront of early Falmouth.
- Phase 5: The base of West Cambridge Street at the Old Falmouth Bridge (44ST0154), with text describing the former streetscape and the 1901 view of West Cambridge Street; along Washington Street, describing John Dixon's original subdivision of ½-acre lots and a brief discussion of working-class housing in Falmouth; at archaeological site 44ST0159, describing the history and significance of the Eagle Mill and milling in Falmouth, and a brief description of eighteenth and nineteenth century flour milling; at 104 King Street (089-0067-0028), describing the history and significance of the Falmouth Canal (44ST0066).
- Recommended Extension of Phase 5: At 100 and 107 Carter Street describing the history and significance of Samuel Gordon and Robert Dunbar, as well as a brief discussion of the housing of the wealthy in Falmouth; at the Falmouth Union Church and Cemetery, discussing the history of the church, the history and possible location of the 1675 fort, and noted persons interred within the cemetery.

The information gained through archaeological studies can provide information and artifacts for displays and signage along the proposed Belmont-Ferry Farm trail.

VDOT INTERCHANGE

The VDOT project at the intersection of Routes 1 and 17 falls within the boundaries of the Falmouth Historic District. As a federal undertaking, the project falls under the purview of the Section 106 review process. Currently, there are no guidelines in place for the Falmouth Historic District that would govern the aesthetics of the VDOT project. Several historic properties, defined as properties that are eligible for the NRHP as contributing elements to the Falmouth Historic District, may be impacted by the construction of the proposed intersection. As part of the Section 106 process, VDOT must reach an agreement regarding historic properties with all consulting parties prior to the start of construction. *Stafford County is a consulting party on this project.*

The street layout of Falmouth today, with the exception of the US Route 1 Bridge and the extension of US Route 1 to Carter Street, represents the original street layout of Falmouth. The preservation of these streets is as integral to the preservation of the historic village as the preservation of the buildings themselves. In order to develop Falmouth as a viable Heritage Tourism area, *the team recommends that the historic road alignments be preserved.*

THE COUNTING HOUSE

The county-owned building at 103 Gordon Street (089-0067-0006), commonly referred to as the Counting House, is a ca.1840 warehouse that was subsequently converted to a dwelling. An intensive level architectural survey conducted in 2006 recommended that the resource is eligible for individual listing on the NRHP under Criterion A and C (Barile 2006). A Condition Survey Report completed in 2007 recommended that the structure is overall in poor condition and will require a full renovation (Bigoney 2007). The Architectural Review Board of Stafford County and the Stafford County Historical Commission recommend the rehabilitation of the building for use as a visitor's center, gift shop, interpretive center, and/or public meeting space, but do not recommend the building for use as a museum (Dodd 2007; King 2007). The building's history of flooding and frame construction renders it unsuitable for use as a curatorial museum.

As a contributing resource to the NRHP listed Falmouth Historic District, this property qualifies as a certified historic property. *If the County elects to sell the property, the team recommends that it do so with an easement and requirement for rehabilitation within a five-year time frame, and that the buyer use federal and state tax credit programs for the rehabilitation of the structure. Prior to the rehabilitation project, the team recommends a Phase I archaeological survey be conducted on the property surrounding the building.*

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I. INTRODUCTION

In April and May of 2008, Cultural Resources, Inc. (CRI) conducted a Phase IA archaeological assessment and Phase I Reconnaissance Level Architectural Survey of 169.5 acres in the Village of Falmouth, Stafford County, Virginia. The survey was conducted on behalf of Stafford County for the development of a Redevelopment Master Plan.

CRI designed the survey to identify all architectural resources that may be present in the project area and to obtain sufficient information to make recommendations about the further research potential of each resource based on their potential eligibility to the National Register of Historic Places (NRHP). To accomplish this, both documentary research and architectural survey were conducted in compliance with the National Historic Preservation Act of 1966 (NHPA-PL89-665), as amended, the Archaeological and Historic Preservation Act of 1974, Executive Order 11593, and relevant sections of 36CFR660-666 and 36CFR800. The preparation of this report and any recommendations concerning the potential eligibility of architectural resources identified during the survey were made with reference to the Advisory Council on Historic Preservation's (ACHP) *36 CFR Part 800: Protection of Historic Properties, Final Rule* (ACHP 2000); the Department of Interior's *36 CFR 60: National Register of Historic Places*; the Secretary of the Interior's *Standards and Guidelines for Archaeology and Historic Preservation*; *National Register Bulletin 15, How to Apply the National Register Criteria for Evaluation* (USDI 1981, 1983, 1991). Additionally, the preparation of this report follows guidelines published by the VDHR including: *Guidelines for Preparing Identification and Evaluation Reports for Submission pursuant to Sections 106 and 110, National Historic Preservation Act, Environmental Impact Reports of State Agencies Virginia Appropriation Act, 1992 Session Amendments*; *How to Use Historic Contexts in Virginia: A Guide for Survey, Registration, Protection, and Treatment Projects*; and *How to Complete Virginia Department of Historic Resources Architectural Resource Inventory Forms* (VDHR 1992a, 1992b, 1993, 1996).

This report contains a description of the project area's physical and environmental setting, a general research design that summarizes field methods, previous research in the area, and the expected results, an outline of meaningful cultural contexts for the property, and finally, the survey results are described and recommendations made.

Principal Investigator Sara C. Ferland served as principal investigator for the project, prepared the research design, and authored the report. The report was revised by Sandra DeChard, Senior Architectural Historian, in July 2009. Laboratory Director Emily Lindtveit conducted the architectural survey, assisted by Archaeological Technician Sarah Moore and Field Director Taft Kiser, who conducted the archaeological assessment.

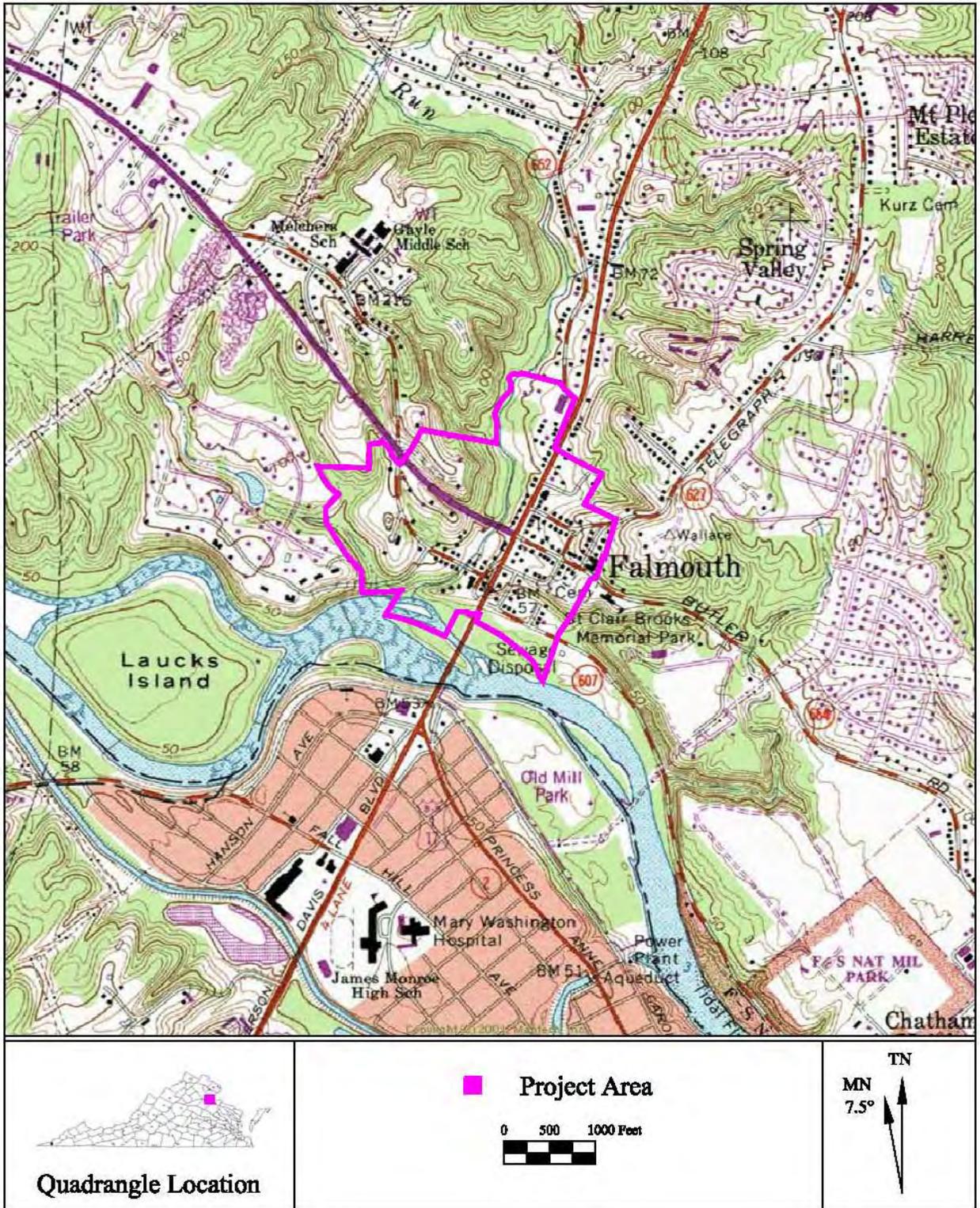


Figure 1. Detail of Fredericksburg, VA USGS 7.5' Quadrangle Depicting the Project Area (Maptech 1998).

II. ENVIRONMENTAL CONTEXT

Physical Description and Environmental Setting

The project area is located in the Village of Falmouth just north Fredericksburg (Figure 1). The project focuses on the main central section of the village and includes the thoroughfares of West Cambridge and Washington streets and Butler Road, as well as Colonial Avenue, Carter, Forbes, Gordon and King streets and extends to the Rappahannock River. Landforms include several east/west trending ridges with Falls Run bisecting the project area with ridges on either side of the stream. The eastern side of Falls Run consists of Falmouth and the largest section of suburban development within the project area.

Geology and Topography

The project area is located in the Coastal Plain province of Virginia, just east of the Fall Zone, an area where the sediments from the Piedmont dip below the Quaternary deposits of the Coastal Plain. The Coastal Plain consists of both Quaternary and Upper Tertiary age sediments. The project area is dominated by geologic formations of the Potomac Formation that date to the Lower and Upper Cretaceous and consist of light-gray to pinkish and greenish-gray quartzofeldspathic sand, fine- to coarse-grained, pebbly, poorly sorted, commonly thick-bedded and trough cross-bedded (Rader and Evan 1993).

Within the more recent deposits of the eastern part of Stafford County (east of Interstate 95), the rolling topography is resultant of the incised drainage patterns cutting through the unconsolidated Quaternary deposits. The project area, specifically, is dominated by ridges with steep slopes dissected by drainages, for Falls Run and flood plain for the Rappahannock River. In this capacity, the project area ranges in elevation from 10 feet above mean sea level (AMSL) along the Rappahannock to 150 feet above mean sea level (AMSL) along the elevated uplands above Falls Run (Isgrig and Strobel 1974; USGS 1966).

Hydrology

The project area is situated just north of the Rappahannock River with Falls Run bisecting the project area and draining into the Rappahannock.

Soil Morphology

The soil morphology consists of Bourne-Caroline association soils, which are generally deep and moderately well to excessively well drained. The slopes in the project area are dominated by sand and clayey land (fine sandy loam), and the Sassafras-Aura-Caroline soil association. The Sassafras-Aura-Caroline soils are generally deep and well-drained soils on undulating to hilly landforms. These soils have a sandy clay loam, heavy clay loam, and clay subsoil, consistent with soils in the Coastal Plain Uplands (Isgrig and Strobel, 1974). The areas around Falls Run and its' intermittent tributaries consists of Cartecay fine sandy loam, while the ridge tops are dominated by Caroline and Sassafras fine sandy loams ranging in slope from 2 - 18 percent

(Isgrig and Stroebel 1974, Soil Survey 2008). A list of soils and descriptions of each soil type found within the Falmouth project area can be found in Table 3, (Figure 2).

Table 1. Soils within the Falmouth Project Area.		
SOIL NAME	SYMBOL(S)	DESCRIPTION
Alluvial land, Wet	Ae	Nearly level to moderately sloping, very deep, poorly drained soil.
Aura-Galestown-Sassafras complex, 6-15% slopes	AwD	Aura is a moderately sloping to moderately steep, very deep, well drained soil. Galestown is a moderately sloping to moderately steep, very deep, somewhat excessively drained soil. Sassafras is a moderately sloping to moderately steep, very deep, well drained soil.
Aura-Galestown-Sassafras complex, 15-30% slopes	AwE	Aura is a moderately steep to steep, very deep, well drained soil. Galestown is a moderately steep to steep, very deep, somewhat excessively drained soil. Sassafras is a moderately steep to steep, very deep, well drained soil.
Caroline fine sandy loam, 2-6% slopes, eroded	CaB2	Gently sloping to moderately sloping, very deep, well drained soil.
Caroline fine sandy loam, 6-10% slopes, eroded	CaC2	Moderately sloping to strongly sloping, very deep, well drained soil.
Caroline fine sandy loam, 10-18% slopes, eroded	CaD2	Strongly sloping to moderately steep, very deep, well drained soil.
Cartecay fine sandy loam	Ce	Nearly level to moderately sloping, very deep, somewhat poorly drained soil.
Cut and fill land	Cw	Areas where soil material have been removed or reworked by machinery.
Luka fine sandy loam, local alluvium, 0-4% slopes	Lu	Nearly level to moderately sloping, very deep, moderately well drained soil.
Sand and gravel pits	Sa	Consist of open excavations from which sand and gravel are mined and of dumps containing water materials.
Sandy and clayey land, steep, Sassafras and Caroline materials	ScF	Steep to very steep, very deep, well drained soil.
Tetotum fine sandy loam, 2-6 % slopes	TeB	Gently sloping to moderately sloping, very deep, moderately well drained soil.
Turbeville loam, 2-6% slopes	TuB	Gently sloping to moderately sloping, very deep, well drained soil.
Turbeville loam, 6-15% slopes, eroded	TuC2	Moderately sloping to moderately steep, very deep, well drained soil.
Wicham fine sandy loam, 2-6% slopes	WmB	Gently sloping to moderately sloping, very deep, well drained soil.
Wickham fine sandy loam, 6-12% slopes	WmC2	Moderately sloping to strongly sloping, very deep, well drained soil.

Natural Resources

Prior to modern disturbances, the character and type of soil would have had a direct effect on the kind of vegetation and hydrology of an area and on the potential for human habitation and usage. For instance, a strong correlation exists between settlement density and soil fertility. A well-known study of settlement patterns in relation to soil types (Lukezic 1990) indicates that historic settlement is closely correlated with the location of prime farmland, and Native Americans during the late Native American period also appear to have had preferences for specific site locations and soil types (Rountree and Turner 2002:69).

The character of the topography, the proximity of water resources, and the types of soils all have a direct effect on the variety of flora that is attracted to the setting and in turn, the fauna that relies on that ecological setting for sustenance. The quantity and variety of both plants and animals in an area has a direct influence on human habitation. Native American populations successfully utilized a wide variety of native flora and fauna whose seasonal availability was well-known to them. New settlers relied on available timber to build shelter and in part, on procurable plants and animals to augment their diet. It would be difficult for a Woodland Indian in A.D. 900, a colonial planter in 1750, or a farmer in 1870 to have prospered without certain key natural resources.

During the Holocene, prior to European contact, this region of Virginia supported a diverse biotic and floral community. The riverine area, dominated by hardwoods, provided shallow water environments beneficial to shellfish and baitfish, as well as a wide variety of amphibians, reptiles, and larger fishes. This habitat also supported numerous avian species, including raptors. The uplands of the interior supported numerous species of large game animals such as elk and whitetail deer, as well as predators including black bear, eastern gray wolf, and bobcat.

A wide variety of native wildlife species still prosper in the upland and riverine setting and are typical of the mid-Atlantic region. The most common terrestrial wildlife in the area today includes deer, turkey, fox, raccoon, opossum, squirrel, rabbit, weasel, and groundhog. Amphibians and reptiles such as snakes, lizards, salamanders, frogs, and turtles are found throughout the property. Numerous species of wild songbirds nest in the area. Birds of prey and waterfowl are also commonly seen.

Modern development in the Stafford County area has dramatically altered the original natural settings that were utilized by Native American populations and colonial settlers. Numerous species of pine have become the dominant trees in the region, largely growing in now-abandoned agricultural fields (Kirby 1991:481). The Native American landscape and early colonial landscape was similar, although comprised of many more hardwoods and fewer conifers. The available animal species also were more diverse centuries ago, and game animals such as buffalo, eastern elk, and predators such as wolves and bears were once common to the area. Today's environment has become one of a suburban landscape.

III. CULTURAL CONTEXT

The following section provides the prehistoric and historic background research with the goal of establishing the appropriate cultural context for the project area as defined by the Secretary of the Interior's *Standards and Guidelines* for Archaeology and Historic Preservation and VDHR's (1997) *How to use Historic Contexts in Virginia: A Guide for Survey, Registration, Protection, and Treatment Projects*.

Virginia's Native American prehistory is divided into three main periods, Paleoindian, Archaic, and Woodland, based on changes in material culture and settlement systems. Descriptions of major characteristics of the time periods and their locally diagnostic artifacts are presented below, along with comments on each period as they relate to the present project area.

Pre-Clovis (?-13,000 B.C.)

The 1927 discovery, at Folsom, New Mexico, of a fluted point in the ribs of an extinct species of bison proved that ancient North Americans had immigrated during the Pleistocene. It did not, however, establish the precise timing of the arrival of humans in the Americas, nor did it adequately resolve questions about the lifestyle of those societies (Meltzer 1988: 2-3). However, both the stratigraphic record and the radiocarbon assays from the recently excavated Cactus Hill site in Sussex County suggest the possibility of human occupation of Virginia well before the fluted point makers appeared on the scene (McAvoy and McAvoy 1997). Buried strata at the Cactus Hill Site, in Sussex County, Virginia, have returned radiocarbon dates of 15,000 years ago from strata situated below levels containing fluted points (McAvoy and McAvoy 1997: 165).

Fieldworkers excavated through levels containing Paleoindian cherts and fluted points, where McAvoy's team encountered artifacts and charcoal separated from the Paleoindian level by 3-4" of sterile sands. Subsequent fieldwork confirmed the presence of artifact-bearing strata located between 3" and 8" below the fluted-point levels. The artifacts recovered from the pre-fluted point levels present a striking contrast with the tool kit relied on by Paleoindians. Rather than relying on extensively finished chert knives scraping tools, and spear points, the pre-Clovis peoples used a different but highly-refined stone technology. Prismatic blade-like flakes of quartzite, chipped from specially prepared cobbles and lightly worked along one side to produce a sharp edge, comprise the majority of the stone cutting and scraping tools. Sandstone grinding and abrading tools, possibly indicating production of wood and bone tools, also occurred in significant numbers in the deepest artifact-bearing strata. Because these tools do not possess unique characteristics which immediately identify them as dating to the Pleistocene, archaeologists must recognize the possibility that 15,000-year old sites have been overlooked for years.

Paleoindian Period (Prior to 8000 B.C.)

The Paleoindian occupation of Virginia, representing the initial presence of Native American peoples within the region, began prior to 8,000 B.C. (Dent 1995; Ward and Davis 1999). The Paleoindian occupation of the greater southeastern United States began between 15,000 and 11,000 years ago, during the late glacial era when sea levels were approximately 230-ft. below

modern sea levels (Anderson et al. 1996:3). This projected drop in sea level would have exposed the majority of the continental shelf along the eastern coastline of North America. During the Late Pleistocene period (14,000 to 10,000 years ago) the Laurentide Ice Sheet still covered large portions of northern North America, and in Virginia the predominant forest type consisted of a mixture of a Jack Pine and Spruce (Delcourt and Delcourt 1981, 1983). These combined lines of evidence indicate that the Paleoindian period predates the formation of the Chesapeake Bay.

The majority of Paleoindian materials recovered in the Eastern United States represent isolated projectile point finds (Dent 1995; Ward and Davis 1999). The majority of Paleoindian remains in Virginia are also isolated projectile point finds. Although some larger, notable base camps are present within the state, these sites are relatively rare and usually associated with sources of preferred high quality lithic materials. Many Paleoindian sites may have been located along the Late Pleistocene coastline of Virginia, which was subsequently flooded during the formation of the Chesapeake Bay (Blanton 1996). There were 25 known Paleoindian sites located within the Chesapeake Region (Dent 1995).

Preservation biases have also had a substantial impact on our understanding of the Paleoindian period. After 10,000 years, few artifacts survive the ravages of time besides stone tools and the debris associated with their manufacture. When compared to the wealth of archaeological materials contained on late prehistoric sites, there are relatively few traces remaining from the Paleoindian occupation of Virginia. There remains a general level of uncertainty for the period based on the extant lines of data (Kane and Keeton 1994).

Paleoindians favored the use of cryptocrystalline material for making projectile points and lithic tools, probably because of its flaking qualities and longer potential use-life (the capability of reworking and reusing the material). The Paleoindian tool kit included well-made bifaces, various scrapers, graters, adzes, and a few other tool types. These tools were curated and carried from place to place, possibly due to the extended use-life of the preferred lithic material (Binford 1980; Goodyear 1979). The Native American tool kit associated with the Paleoindian period is still not well understood. Most of the tools associated with Paleoindian projectile points are also found in association with diagnostic artifacts from the Early Archaic period. A further complication in understanding the tool kit of the Paleoindian is the assertion that the tools created by the Paleoindians may have been used for over 3,000 years, since they were made of cryptocrystalline lithic material (Goodyear et al. 1989:41).

The Paleoindians employed a collector strategy to take advantage of seasonally available flora and fauna throughout the year. This strategy included a seasonal base camp located either in a diverse environmental ecozone or near high-quality lithic quarries, supplemented by smaller procurement camps located some distance from the base camp (Goodyear 1979; Daniel 1996; Anderson et al. 1996). The procurement camps were seasonal and temporary stations where the Paleoindians would gather lithic material and/or flora, or hunt fauna (Binford 1980; Anderson et al. 1996). It is generally accepted that the range of a band of Paleoindians covered a relatively large area (Anderson et al. 1996; Gardner 1989).

Some researchers discuss the Paleoindian period as a single entity (Dent 1995) while others, mostly in the southeast, divide it into three sub-periods based on morphological differences in projectile point manufacture and technology (Anderson 1990; Ward and Davis 1999).

Early Paleoindian (9500 to 9000 B.C.)

The earliest occupation of the southeast and eastern North America occurred sometime before 9000 B.C. The artifact associated with this sub-period is the fluted Clovis projectile point, thought to have been hafted on the end of a wooden shaft and utilized as a spear to be thrown or thrust (Ward and Davis 1999, Chapman 1994). Sites associated with Clovis projectile points are scattered in low densities across the eastern seaboard, with notable concentrations around Tennessee, the Cumberland and Ohio River Valley, western South Carolina, southern Virginia, and the northern Piedmont of North Carolina (Anderson 1990:164-71; Daniel 1998; Ward and Davis 1999). Some areas with ephemeral or even no traces of Paleoindian occupation may have only been occupied briefly at this time. Anderson (1990) has hypothesized that these areas of concentrated activity were staging areas or base camps occupied at particular times of the season, with smaller procurement camps located elsewhere throughout the region (Anderson 1990; Ward and Davis 1999).

Middle Paleoindian (9000 to 8500 B.C.)

During the Middle Paleoindian sub-period several other projectile points become characteristic of the changing environment and reuse of earlier projectile point forms. Typical projectile point types include Clovis variants, Cumberland points, Simpson points, and Suwannee points. Some of these projectile points are fluted (Cumberland, Simpson, and Clovis variants) while others are not (Suwannee). Most of the Middle Paleoindian projectile points are slightly “eared” at the base (Anderson et al. 1996; Ward and Davis 1999:31). Anderson (1990) sees the morphological changes in form and increased number of points associated with this sub-period as signifying a change in settlement patterning and subsistence strategies. During the Middle Paleoindian period, Native American peoples began to radiate out from their home ranges and exploit new environmental conditions (Ward and Davis 1999).

Late Paleoindian (8500 to 7900 B.C.)

By the end of the Late Pleistocene, the ice sheet had retreated to the north, and the forest cover had changed to a mixture of conifers and northern hardwoods. It is also presumed that numerous Paleoindian sites were submerged with the retreat of the Laurentide Ice Sheet at the end of the last glacial period (approximately 10,000 years ago) (Anderson et al. 1996:3). Dalton projectile points and Hardaway projectile points are typical of the Late Paleoindian sub-period, with some variants (Coe 1964; Daniel 1998; Goodyear 1974, 1982). With the climate and environment changing to one more similar to the present and with the associated rise in sea levels more Late Paleoindian sites are present across the Southeast and Mid-Atlantic regions, suggesting a possible increase in population density.

No previously identified Paleoindian sites were identified within a one-mile radius of the project area. The majority of Paleoindian remains in Virginia are represented by isolated projectile point

finds and what appear to be small temporary camps. Although some larger and very notable base camps are present in the state, they are relatively rare and usually associated with sources of preferred high quality lithic materials. Predictions call for any Paleoindian remains in Stafford to be found in very low densities, with the most likely locations being situated along game-attracting marshes with southern and eastern aspects (Barber et al. 1992:42-43). Approximately 1,000 fluted projectile points have been reported in Virginia (Anderson and Faught 1998). To date, no Paleoindian sites have been recorded in Stafford county or neighboring Spotsylvania and King George counties (VDHR 2003).

Archaic Period (8000 - 1200 B.C.)

The beginning of the Archaic period coincided with the start of the Holocene period around 8,000 B.C. The Holocene is a geological period that began with the recession of the ice sheets that covered large portions of North America. The start of the Archaic is marked by a shift from a moist, cool climate to a warmer, dryer climate within the region, more similar to the temperate ecosystem of today. This warming trend was gradual and somewhat continuous throughout the first 5,000 years of the Archaic period. The shift in climate allowed for the development of diverse plant and animal communities, as currently found throughout the Middle Atlantic region. These changes in flora and fauna had a marked impact on the hunter-forager subsistence base of the Archaic period (Dent 1995:147, 164-5). The retreat of the ice sheets also caused the sea levels to rise, leading to the gradual formation of the Chesapeake Bay. Prior to the Archaic period, the Chesapeake Bay was merely an extension of the Susquehanna river, emptying into the Atlantic Ocean several miles east of Virginia Beach, Virginia.

As with the Paleoindian period, our understanding of the cultural chronology of the Archaic is based primarily on lithic artifacts: chipped-stone tools and the debris associated with their manufacture. More “biodegradable” forms of material culture have simply not survived in the archaeological record of the region and the items recovered are biased towards lithic materials (Geier 1990:82-83). The basic chronology of Archaic projectile points for the Mid-Atlantic region and the southeastern United States closely follows the sequence outlined by Joffre Coe (1964) for the North Carolina Piedmont, with regional variants. Coe’s chronology has been modified and fine-tuned over the past 40 years but the basic typology remains intact (Dent 1995; Hranicky 1994, 2001; Justice 1987; Ward and Davis 1999).

It is believed that Archaic populations were characterized primarily by band-level social organization with seasonal movements that corresponded to the availability of specific resources. Settlement during the Archaic period probably involved the occupation of relatively large regions by single, band-sized groups living in base camps during part of the year. These band-sized groups would disperse on an as-needed or seasonal basis, creating smaller microband camps that may have consisted of no more than single families. Two settlement models have projected the seasonal range and focus of Archaic bands. Anderson and Hanson (1988) propose that the distribution of Archaic sites (primarily Early and Middle Archaic) were based along single river drainages. The Band-Macroband Model, as it had become better known as, suggests that a base camp was established in a rich environmental area near the Fall Line, and smaller procurement camps were established seasonally towards the coast and further inland to take advantage of seasonally available resources such as fish, shellfish, nuts, and berries. An

alternative model takes into account a continued, albeit gradually declining, reliance on high-quality cryptocrystalline lithic resources during the Early and Middle Archaic periods. Daniel (1996, 1998) proposes that high-quality lithic resources were the central focus around which seasonal movements were geared, and that Early Archaic Native American bands traversed river drainages to gain access to high-quality lithic outcrops and quarries.

The Archaic period can be characterized by the development of more specialized resource procurement activities as well as the development of new technologies to accomplish these activities. These differences in the material culture are believed to reflect larger, more localized populations and changes in methods of food procurement and processing.

Early Archaic (8000 – 6500 B.C.)

Corner and side notching became a common characteristic of projectile points at the beginning of the Early Archaic, indicating potential changes in hafting technology and possibly the invention of the spear-thrower (atlatl). Notched point forms include Palmer and Kirk Corner-Notched and, in localized areas, various side-notched types. The end of the Early Archaic and the start of the Middle Archaic are marked by the appearance of a variety of bifurcate base projectile point forms which, within this area, are primarily represented by Lecroy points (Dent 1995, Justice 1995).

Middle Archaic (6500 - 3000 B.C.)

As a whole, the Middle Archaic is marked by the appearance of stemmed projectile point forms. In this area of Virginia, the most common Middle Archaic projectile point types are (from oldest to most recent) Lecroy, Stanly, Morrow Mountain, and Guilford, followed by the side-notched Halifax type as the Middle Archaic transitions into the Late Archaic period between ca. 3500 and 3000 B.C. There is also a notable increase in the number of identified Middle Archaic components over the preceding Early Archaic period, which appears to indicate a rise in Native American population levels during this period (Dent 1995; Justice 1995).

Late Archaic (3000 – 1200 B.C.)

The Late Archaic is dominated by stemmed and notched knife and spear point forms, including various large, broad-bladed stemmed knives and projectile points that generally diminish in size by the start of the Early Woodland (e.g. Savannah River points and variants). Other point forms, while less common, include stemmed and notched-stem types identical to examples more commonly associated with Pennsylvania and adjoining parts of the northeastern United States (e.g. Susquehanna and Perkiomen points) (Dent 1995; Justice 1995).

Marked increases in population density, and decreased mobility in some areas, appear to characterize the Late Archaic in the Middle Atlantic region and eastern North America as a whole. Locally, there is an increase in the number of late Middle Archaic (Halifax) sites and Late Archaic (Savannah River) sites over those of preceding periods, suggesting a population increase and/or an increasing use of this area of Virginia between about 3500 B.C. and ca. 1200 B.C.

The origins of plant domestication and horticulture within the Middle Atlantic region may have had its start during the Late Archaic period. Yarnell (1976:268), for example, states that sunflower, sump weed, and possibly goosefoot may have been cultivated as early as 2000 B.C. In the lower Little Tennessee River Valley, the remains of squash have been found in Late Archaic Savannah River contexts (ca. 2400 BC), with both squash and gourd recovered from Iddins period contexts of slightly more recent date (Chapman and Shea 1981:70).

Late Archaic sites and site components are the most common archaeological expression of the Archaic period, at both the local and regional levels. Within the Potomac River drainage late Middle Archaic and Late Archaic components are typically present in shallowly buried first terraces and floodplain sediments, as well as on adjoining high terraces/bluffs located above the floodplain.

Based on the work of Barber et al. (1992), as well as on studies conducted within nearby northern Virginia counties, sites dating to the Middle Archaic and the Late Archaic periods are the most likely Native American archaeological sites to be found within the project area. Early Archaic and Middle Archaic sites are found on both the largest streams and on small headwater tributaries, indicating movement from the major rivers to the interior headwaters and the exploitation of a broad range of both riverine and forest resources; Late Archaic sites are found in a wider range of environments (Barber et al. 1992:46-48). The higher elevations overlooking Falls Run and the Rappahannock River would have been suitable locations for procurement and hunting camps for Archaic populations of the region.

Woodland Period (1200 B.C. – A.D. 1600)

The Woodland period is characterized by an increasing utilization of ceramic technology, an increasing dependence on horticulture and agriculture, and an increase in sedentism. Most researchers divide the Woodland period into three sub-periods (Early Woodland, Middle Woodland, and Late Woodland), based primarily on stylistic and technological changes observed in ceramic ware types and projectile point types, as well as shifts in settlement patterning. While not all researchers agree on this tripartite subdivision or the temporal bracketing that follows (e.g. Custer 1990), the chronology most applicable to the present project area was initially formulated by Gardner (1982).

Early Woodland (1200 - 500 B.C.)

The Early Woodland is generally defined by the appearance of ceramics in the archaeological record. The earliest Woodland ceramic wares, Marcey Creek Plain and variants, are rectangular or oval and resemble the preceding Late Archaic soapstone vessels. These are followed by cord-marked, soapstone-tempered Selden Island ceramics, sand-and-grit-tempered Accokeek ceramics, and in the upper part of the Potomac drainage, cord-marked and plain ceramics tempered with quartz, shale and other crushed rock (Egloff and Potter 1982; Gardner and Nash 1987; McLearn 1991).

Also characteristic of the Early Woodland across a broad region of the Eastern Woodlands is the increasing complexity and emphasis on ceremonial aspects of Native American culture, especially in relation to burial of the dead. In Virginia this increase is not visible in the archaeological record until about 500 B. C., when stone and earth cairns and cairn clusters first appeared in the Shenandoah Valley of Virginia (McLearen 1992; Stewart 1992). This phenomenon did not extend into the Piedmont of Virginia until the Middle to Late Woodland transition, when accretional burial mounds are constructed within both the Ridge and Valley and Inner Piedmont provinces (Boyd and Boyd 1992). Mounds locations within the Piedmont appear to have been restricted to the Rivanna and Rapidan drainages (Boyd and Boyd 1992; Egloff and Woodward 1992; Boyd and Boyd 1992).

Middle Woodland (500 B.C. - A.D. 900)

During the Middle Woodland, there is a decrease in the number of sites along smaller streams and an increase in sites along major trunk streams and estuaries (Hantman and Klein 1992: 144). Shellfish, anadromous and resident fishes, deer, waterfowl, and turkey are among the important fauna in the Middle Woodland diet. Various nuts, amaranth, and chenopod seeds also appear to be important resources during this period. Throughout Virginia, the Middle Woodland is marked by the presence of “interregional interaction spheres, including the spread of religious and ritual behaviors which appear locally in transformed ways; localized stylistic developments that sprang up independently alongside interregional styles; increased sedentism; and evidence of ranked societies or incipient ranked societies” (McLearen 1992:55). Triangular projectile points are also typical for the Middle Woodland period throughout Virginia as is the introduction of some horticulture. Although there are traits common to Middle Woodland populations throughout Virginia, regional trends and adaptations are apparent particularly in ceramic traditions (Hantman and Klein 1992).

Pope’s Creek Net-impressed ceramics are one of the diagnostic artifacts associated with Middle Woodland sites. Pope’s Creek ceramics first appear after 500 B.C., coinciding with the start of the Middle Woodland (Blanton 1992:72-3, Egloff and Potter 1982:99). Early Woodland cord-marked ceramics and stemmed projectile points are found in Middle Woodland contexts, suggesting a continued use of the Early Woodland technologies (McLearen 1992:44-5).

Archaeological evidence for the existence of villages within the Potomac River Valley is also found within the Middle Woodland. Although villages are first seen during this time period, there is also evidence for the continued exploitation of wild plants as well as hunting, gathering, and fishing (Potter 1993).

Late Woodland (A.D. 900 – 1600)

By the Late Woodland, the intensive use of domesticated plants had assumed a role of major importance within prehistoric subsistence systems. The adoption of agriculture and/or intensive horticulture represented a major change in both the prehistoric subsistence economy and in settlement patterning. Access to expanses of arable land appears to have become an important factor in site selection, and Native American occupation areas were located on fertile floodplain soils or, in many cases, on higher terraces or ridges adjacent to them (Dent 1995).

Settlements dating to this time consist of both villages and small hamlets. Some villages were highly nucleated, while others were internally dispersed over a broad area. Some were completely fortified by circular or oval palisades, while others contained a fortified core area and outlying houses, indicating a potential rise in intergroup conflict. The more dispersed settlements were scattered over a wide area with indications of internally fluid settlement within a loosely defined town or village territory.

With the development of a more sedentary settlement-subsistence system culminating in the Late Woodland period, permanent habitation sites gradually replaced the base camp habitation sites characteristic of foragers and hunter-gatherers. Various supporting camps and activity areas were established for the day-to-day procurement of food and other resources (i.e., short-term hunting and foraging camps, quarries, butchering locations, and re-tooling locations). Locations used partially or largely for ceremonial purposes were also present, usually in association with habitation sites.

The larger base camps, hamlets, and villages are typically located on bluffs, terraces or high floodplains adjacent to rivers or major tributaries. Small seasonal camps and non-seasonally based satellite camps supporting nearby sedentary villages and hamlets are located along smaller streams in the interior. These temporary campsites are typically characterized by limited concentrations and sparse scatters of lithics and ceramics. The majority of the Late Woodland sites that had been recorded at the time of the Barber et al. (1992) study were located along major high order streams and rivers.

Portions of the project area are situated on the primary terrace of the Rappahannock River, an ideal location for Woodland era base camps and villages. The higher elevations and elevated floodplains of Falls Run are also ideal for smaller satellite camps related to Woodland base camps or hamlets.

Settlement to Society (1607 - 1750)

Europeans reached the Falmouth area in the summer of 1608, when Capt. John Smith worked up the Rappahannock as far as the Falls (Figure 3). The Rappahannock was a dangerous river, with the lower reaches controlled by Algonkian groups, nominally allied with the Powhatan, and the upper stream inhabited by Siouan groups. In addition, the two most powerful Algonkian groups in this area, the Moratticos and the Rappahannocks, were fighting each other.

Fortunately, stopping at Morattico, Smith encountered an earlier acquaintance, a Patowomek named Mosco. “We supposed him some Frenchman’s son because he had a thick black bush beard, and the savages seldom have any at all.” Mosco was “not a little proud” to meet a boatload of bearded men, and helped the English in every way that he could, including convincing the Algonkians to tow Smith’s boat “against wind or tide from place to place.” (Haile 1998:269)

Mosco traveled upriver with the English, helping them through ambushes with unfriendly groups and leading them to friendly villages and, finally, to the Falls of the Rappahannock.

The next day we sailed so high as our boat would float, there setting up crosses and graving our names in the trees. Our sentinel saw an arrow fall by him, though we had ranged up and down more than an hour in digging in the earth, looking of stones, herbs, and springs, not seeing where a savage could well hide himself.

Upon the alarm, by that we had recovered our armes, there was about a hundred nimble Indians skipping from tree to tree, letting fly their arrows so fast as they could. The trees here served us for barricades as well as they. But Mosco did us more service than we expected, for having shot away his quiver of arrows, he ran to the boat for more. The arrows of Mosco at first made them pause upon the matter, thinking by his bruit and skipping there were many savages. About half an hour this continued; then they all vanished as suddenly as they approached. Mosco followed them so far as he could see us, till they were out of sight.

As we returned there lay a savage as dead, shot in the knee, but taking him up we found he had life; which Mosco seeing never was dog more furious against bear than Mosco was to have beat out his brains, so we had him to our boat where our chirurgeon...so dressed this savage that within an hour after he looked somewhat cheerfully and did eat and speak.

In the meantime we contented Mosco in helping him to gather up their arrows, which were an armful, whereof he gloried not a little.

Then we desired Mosco to know what he [the prisoner] was and what countries were beyond the mountains. The poor savage mildly answered he and all with him were of Hasinninga, where there are three kings more, like unto them, namely, the King of Stegora, the King of Tauxuntania, and the King of Shakahonea, that were come to Mahaskahod [Falmouth vicinity], which is only a hunting town, and the bounds betwixt the kingdom of the Mannahocks and the Nandtaughtacunds [Portabago Bay], but hard by where we were.

We demanded why they came in that manner to betray us that came to them in peace and to seek their loves...

These and many such questions we demanded concerning the Massowomeks, the Monacans, their own country, and where were the kings of Stegora, Tauxsintania, and the rest.... (Haile 1998:271-272).

Smith's account documents the party's initial encounter with Native American groups in this area, and also serves as the first recorded event to take place in the Falmouth area. Halted by the rising bedrock of the Fall Line, Smith took his men ashore somewhere in the general vicinity of modern-day Route 1, possibly in the vicinity of St. Clair Brooks Park. Whether the encounter

took place on the northern or southern shore of the Rappahannock is not specified in the account, and it is also possible that Smith landed in modern Fredericksburg (Haile 1998:273).

The place Smith chose to land his party of thirteen was on the outskirts of the hunting village of Mahaskahod, while a sizable group of Siouans were visiting the area to hunt and fish. Despite their nearby presence, Mosco and the Europeans failed to sense the potential danger, and they began to carry out their mission of exploration. Smith's team consisted of five gentlemen and six soldiers. The soldiers probably spread out and maintained a perimeter around the gentlemen while they set up crosses and carved their names in the trees to claim the land. Then they began working on maps and writing descriptions, probably moving as they desired, with the soldiers expanding the perimeter to keep them covered. The forest was open enough that they could see no places for Indians to hide, but as such a small party, they almost certainly kept their perimeter tied back to the boat (Haile 1998:264-271).

The explorers relaxed enough to lay aside their weapons as they ranged around. They took notes on the plants, examined the rocks, searched for minerals, dug holes to examine the soils, searched out springs, and sampled the waters (Haile 1998:264-271). Smith's *A Map of Virginia* provides more than a simple historic account. The document, which provides the only depiction of the project vicinity from this period (see Figure 3), also serves as a topographic, botanic, economic, and ethnographic report, compiled from the observations gathered during a single day of exploration.

After more than an hour ashore, Smith and his party felt relatively safe. The gentlemen were wandering around inside the perimeter, largely unarmed. Then an arrow whizzed by one of the soldiers, and as he bellowed the alarm, the attack commenced; the soldiers quickly retreated towards the boat and their muskets (Haile 1998:271).

According to Smith's account, Mosco the Patowomek saved the party. Their muskets could be fired only about twice a minute, and Mosco used his bow to great effect. Mosco covered their retreat as the scattered English ran for safety. With arrows glancing off their armor, the English probably scurried to regroup, stopped to fire a volley, and then staggered for the boat, dragging each other. Behind them, Mosco provided a steady covering fire and helped maintain distance between the attackers and the explorers. As John Smith backed towards safety, Mosco shot so many arrows that he had to return to the boat for more (Haile 1998: 271-273).

Surrounded, the English fell back towards their boat. Rather than attempting to establish a defensive position on the shore, Smith was probably holding the boat slightly offshore, perhaps in knee-deep water. Smith had created an armored fighting space by covering his boat with walls made of "Massawomek targets that environed her as waistcloths" (Haile 1998:270). The best clue to what happened at Fredericksburg is the description Smith wrote of a battle with the Rappahannocks a few days earlier:

Immediately we let fly among them, so that they fled and Todkill escaped. Yet they shot so fast that he fell flat on the ground ere he could recover the boat. Here the Massawomek targets stood us in good stead, for upon Mosco's words we had set them about the fore part of our boat like a

forecastle, from whence we securely beat the savages from off the plain without any hurt. Yet they shot more than a thousand arrows, and then fled into the woods (Haile 1998:270)

To the Siouans at the Falls, the boat would have remained a cipher. Grounded slightly offshore, Smith had created a makeshift moat. With the Iroquois shields tied together to form a casement, the Siouans could not see into the boat or get an accurate count on Smith's party. As he had done towards the beginning of the expedition, Smith very possibly put "hats upon sticks by the barge's side, and betwixt two hats a man with two pieces, to make us seem many" (Haile 1998:265).

Faced with this strange contraption, and unable to rapidly close with the English, the Siouan attack ceased and the attackers disappeared. Mosco counter attacked and followed them back through the woods. Satisfied that they had left the immediate area, he returned to where the English were examining the field. Smith notes that no Europeans were wounded, but they did capture an Indian with a leg wound. After being protected from Mosco and spending time with the English, the Indian became friendly (Haile 1998:271-272).

The prisoner's name was Amoroleck, the brother of the King Hasinninga. Despite Amoroleck's professions of friendship, Mosco insisted the explorers should leave as soon as possible. John Smith, talking to Amoroleck, learned for the first time that he had brought his party of 12 men to a gathering of all the local Siouan groups. Despite pleas from Amoroleck to stay and meet his brothers, Smith decided to leave as soon as possible.

They passed the rest of the day scanning the trees and talking to Amoroleck (Haile 1998:271-272). Essentially everything recorded about the Mannahoeks comes from this conversation, while the English nervously waited for the cover of darkness. They cast off as quietly as possible and random waves of arrows fell from the sky. Somewhere on the trip they learned to tie the Massawomek shields so they "covered us as a deck." After rowing all night, they made about 12 miles and were in the Skinker's Neck area at dawn (Haile 1998:271-273).

In the daylight, floating on a wide bay in the river, Amoroleck was able to arrange peace:

Nothing they had but bows, arrows, tobacco bags, and pipes. What we desired none refused to give us, wondering at everything we had and heard we had done. Our pistols they took for pipes, which they much desired, but we did content them with other commodities; and so we left four or five hundred of our merry Mannahocks singing, dancing, and making merry, and set sail for Moraughtacund [Morattico] (Haile 1998:273-274)

When he published his *Map of Virginia*, Smith had eight names associated with the Mannahoaks. Five of these he located on the map, while the other three are known only through his history. After reading the reports of the 1608 expedition, the instructions written by the Council of Virginia, on May 15, 1609, included specific orders to maintain alliances and trade with the Mannahoaks and other distant tribes, as a counterbalance against the Powhatans. But the Mannahoaks were never again encountered by the English (Haile 1998:24).

For two decades after Smith's expedition, the survival of Virginia remained in question. There was no significant movement beyond the Jamestown palisades until the period between August 1611 and Christmas 1613, when Sir Thomas Dale claimed the James River shoreline from Arrohattock by force, down to modern Hopewell (Haile 1998:823-825). Expansion, however, was fueled by the high-profits reaped from tobacco monoculture. Governor Sir George Yeardley opened the gates in 1619, and the new Virginians scattered far and wide to plant the weed. The Massacre of 1622, followed by the arrival of the plague ship *Abigail*, dropped the population to about 500 at the end of that year, but in truth this was almost the normal attrition rate for the colonists during Virginia's first two decades (Noël Hume 1997). It was not until the 1630s that the colonial population expanded to the point that settlement outside the James River Valley seemed desirable, and the York River basin was the initial site of expansion. By this time, the survival of Virginia was certain and the frontiers of the colony began leaping outward.

In 1675, in response to the Massacre of 1644 and the continued threat of Indian attacks on the frontier, Governor Berkeley pushed an act through the Virginia Assembly providing for the construction of several forts along the fall line. Each fort was to be garrisoned with 25-100 militia members from the surrounding counties, and later forts would have had mounted troops as well. Grazing lands were to be set aside for the horses, and the mounted troops were to patrol between forts, scouting for "troublesome Indians". The forts were to be provisioned with powder, shot, food and a doctor, and were commanded by local militia officers with the provision that the land would become theirs after three years (Barnett 2004). Major Lawrence Smith of Gloucester County was granted a tract of land measuring 3.5 miles wide by five miles long in what was then [Old] Rappahannock County on which to build a fort (Green, 1958):

At a grand Assembly held in James Cittie between the 30th of Sep. 1674 and 17th March 1675 in which war was declared against the Indians: among other provisions for carrying it on, was ordered out one hundred and eleven men out of Gloucester to be garrisoned at one fort near the falls of the Rappahannock, under the command of Major Lawrence Smith. In 1679, Major Lawrence Smith was empowered to have in readiness, at beat of drum, fifty able bodied men well armed, etc., and two hundred more within space of a mile back prepared always to march twenty miles in every direction; he to execute martial discipline among said soldiers, both in peace and war, the said Lawrence Smith, with two others to hear and determine all cases, civil and criminal, that may arise within said limits, as a county court might do, and make by-laws for the same (in Garber 1910).

The exact location of the fort is not known for certain, the act only specified that the fort be constructed "at or near the falls of the Rappahannock" (Hening 1823). However in his memoirs Moncure Conway states:

"...beyond the outhouses the vegetable garden...extended to a succession of steep terraces...These terraces were relics of fortifications built in 1675 against the aborigines, this being the origin of Falmouth" (Conway 1904)

These terraces can still be seen in backyard of the Conway house at 305 River Road, and of some houses along Carter Street.

In 1678 the land between Falls Run and the Rappahannock River was granted to Thomas Vicaris for transporting 27 settlers to Virginia. By 1700, the fort was in disuse, and in 1702 Thomas Vicaris patented the land that was to become Falmouth. Between 1702 and 1720 the land was sold to William Todd, and by 1720 Todd had constructed a tobacco inspection station and several warehouses on the property (Johnson 1997, Eby 2007, Felder 2003).

In 1727 the Virginia Assembly passed an act providing for the establishment of the town of Fredericksburg:

I. WHEREAS great numbers of people have of late seated themselves and their families, upon and near the river Rappahannock, and the branches thereof, above the falls; and great quantities of tobacco and other commodities, are every year brought down to the upper landings upon the said river, to be shipped off and transported to other parts of the country; and it is necessary, that the poorer part of the said inhabitants should be supplied from thence, with goods and merchandize, in return for their commodities; but for want of some convenient place, where traders may cohabit, and bring their goods to, such supplies are not to be had, without great disadvantages; and good houses are greatly wanted, upon some navigable part of the said river, near the falls, for the reception and safekeeping of such commodities, as are brought thither; and for the entertainment and sustenance of those who repair thither from remote places, with carriages drawn by horses or oxen: And forasmuch as the inhabitants of the county of Spotsylvania, have made humble supplication to this general assembly, that a town may be laid out, in some convenient place, near the falls of the said river, for the cohabitation of such as are minded to reside there, for the purposes aforesaid, whereby the peopling that remote part of the country will be encouraged, and trade and navigation may be increased (Hening 1821)

At the urging of Robert Carter, that same act provided for the laying out of Falmouth as well, citing the need for the residents of the Northern Neck to have the same conveniences as the residents of Spotsylvania County:

X. And forasmuch as the said town will not be convenient to the inhabitants on the north side of the said river, for transporting their commodities to and from the same: To the end therefore, that the same benefits and advantages may be extended to them, as are before given to the people inhabiting the county of Spotsylvania,

XI. *Be it further enacted by the authority aforesaid,* That within six months after the passing of this act, fifty acres of land, parcel of a larger tract of land, belonging to William Todd, of the county of King and Queen, gentleman, situate, lying, and being on the north side of the said river, about two miles above the said lease-land, in the county of King George, including the fall-land, and the high land adjacent, shall be surveyed and laid out, by the surveyor of the said county of King George; and shall be vested in Robert Carter, and Mann Page, esquires, Nicholas Smith, William Thornton, John Fitzhugh, Charles Carter, and Henry

Fitzhugh, the younger, gentlemen, are hereby constituted and appointed directors and trustees, for designing, building, carrying on, and maintaining a town upon the same; and they or any four of them, shall have the same powers and authorities, in laying out the said town in lots and streets, each lot not exceeding half an acre as aforesaid; and shall and may assign convenient portions of the said land, for a church, church yard, market place, and public key, and appoint and make public landings, wharfs, and cranes, for the common benefit of the inhabitants; and sell and convey the lots, and dispose of the overplus of the money arising from such sale, to the same uses; and make and establish rules and orders, for the more regular building the houses, and for repairing and amending the streets, landings and wharfs; under the same penalties as are herein before directed, prescribed, ordained, and appointed, for the said town of Fredericksburg; and the grantees of such lots, so laid out, sold, and conveyed, shall be under the like directions for building, and under the forfeiture, as are herein before prescribed for the said town of Fredericksburg. And the succession of the said directors, shall be continued in the same manner as is before directed, for continuing the succession of the other directors aforesaid.

XII. *And be it further enacted*, That the said last mentioned directors shall satisfy and pay unto the said William Todd, out of the money arising by the sale of the said lots, forty shillings for every acre of the said land, and moreover, shall assign him four lots, whereof he shall remain seised, of the same estate, as he now hath in the said fifty acres of land; and shall also pay him for such houses as he hath erected, which shall be taken into any of the streets or public landings of the said town: And in case such houses shall fall within the bounds of any lot or lots, the same shall be assigned him, as part of the four lots, hereby intended for him: And the said last mentioned town, shall be called by the name of *Falmouth* (Hening 1821).

Governor Gooch commented on the necessity of the act, citing a monopoly of independent inspection station owners on either side of the river:

“...the inhabitants above the falls being ‘obliged to bring their Tobacco to the first landing where the River is Navigable...their industry has been hitherto much discouraged for want of convenient Storehouses to lodge their Commodities and much more for being deprived of the opportunity of selling the same to advantage, the land on both sides that part of the River being held by private Persons who not only exacted exorbitant prices for Storage, but endeavoured to engross the whole Trade to themselves, since no other Merchant could settle there without the Consent of the others which was not to be obtained’” (in Harrison 1987).

The governor further commented that the 40 shillings per acre paid to William Todd was “in truth four times as much as land in these parts commonly are sold for”, though Todd and the Fredericksburg landowners did not appear to agree and challenged the act, to no avail (Harrison 1987). The town of Falmouth was surveyed and laid out by John Warner, the surveyor for King George County, in 1728 (Felder 2003).

In 1730 an Act was passed through the General Assembly providing for the inspection of tobacco by appointed inspectors at appointed warehouses, including one in Falmouth “upon Mr. Todd’s lots” (Hening 1820). In the early 1730s, Charles Carter began a ferry from the tobacco wharf across the river and built at least two taverns (Felder 2003).

Maps dating to this time period are scarce, and the original plan of the town of Falmouth has long been lost. In 2003, Paula Felder conducted extensive research into the early days of the town and reconstructed what may have been the original layout (Figure 6). Eight of the original town lots were purchased by Robert Carter and his son, and the Carters continued to be a driving force in Falmouth until Charles’ death in the 1764 (Felder 2003).

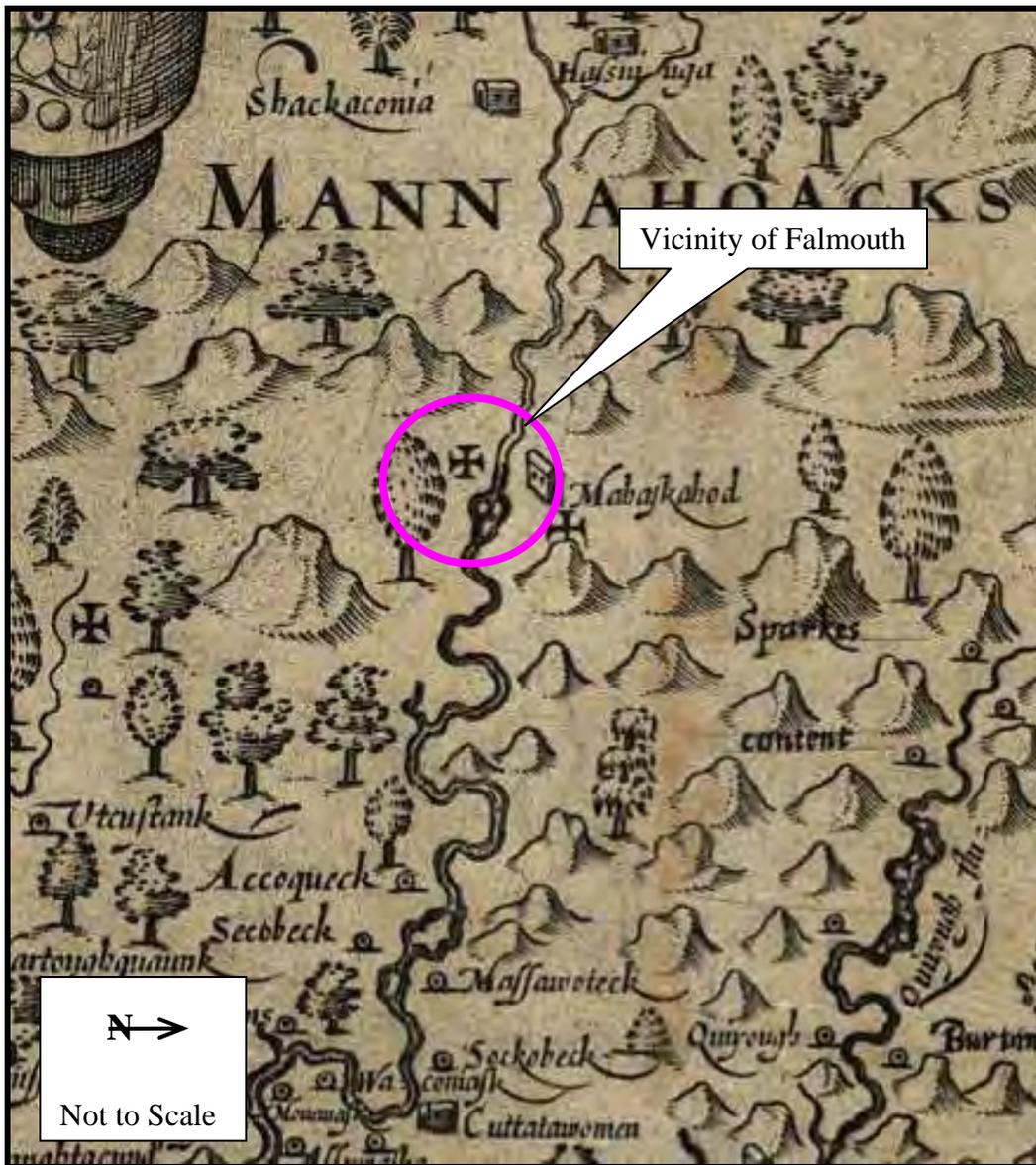


Figure 3. Detail of *Virginia Discovered and Discribed* (Smith 1612).



Figure 4. Detail of Warner's *A Survey of the Northern Neck of Virginia* (1736).

Colony to Nation (1750 - 1789)

As the Virginia economy continued to focus on tobacco as the main cash crop, water routes were still the most reliable mode of transportation for moving crops from the farms to the warehouses. The early roadways within Falmouth included the present-day routes of Route 1 and Route 17. Route 1, for the most part, paralleled the Potomac River and followed a trail utilized by Native American tribes in the area, called the “Potomac Path.” Route 1 connected Fredericksburg and Falmouth to Alexandria, in the north. Route 17 paralleled the Rappahannock River to the south and continued towards Ashby Gap and eventually towards present-day Winchester. This road provided access to the interior portions of Stafford County and Virginia, as a whole. Route 17 also continued south from Fredericksburg towards the then-capital of Virginia, Williamsburg (David 2004).

With the construction of these roads, settlers began moving into the Shenandoah Valley, and Falmouth was the last town before the Blue Ridge Mountains. Merchants in Falmouth used the lower Shenandoah Valley as both a market and a source for raw materials, exchanging goods for finished products that were then distributed in the Valley (Malone 1935).

In 1748 William Todd’s widow, Martha, sold a part of their land west of Falmouth to John Dixon. In 1751 Dixon petitioned for and received permission to construct a second tobacco inspection station on his land, in an effort to keep up with the ever-increasing tobacco trade. In 1752 Dixon was ordered to build a stone wharf as well (Felder 2003).

During this time merchants from England and Scotland were becoming more and more active in Falmouth, through their representatives or “factors”. After the death of Charles Carter in 1764, these factors took control of the town trustees and began to force John Dixon out. They cut off waterfront access to his land, rendering it worthless, and seized control of the ferry. In 1766 Dixon began to sell off his property in parcels, the first of which was a seven acre tract purchased by William Hunter. Hunter went on to build a canal and ironworks on the tract, along with a mill. Dixon also sold half-acre lots along the road to Warrenton (now Washington Street), creating a suburb on the western side of town. Eventually, the estates of Clearview, Belmont, and Carlton were all carved out of Dixon’s 900 acre tract (Felder 2003).

John Richards bought 300 acres from John Dixon in 1775, including the land that became Belmont and Ingleside. Shortly afterward, Richards constructed a canal which began a half-mile below Hunter’s Ironworks and emptied into Fall Run, forming a large millpond. The water was channeled through a gate near what is now 104 King Street, then known as the “sluice-gate cottage”. By this time a bridge had been built across the Rappahannock River, connecting what is now West Cambridge Street with Thorton’s Mill on the south side of the river (Johnson 1997).

In 1782 Rochambeau and his men camped just north of Falmouth on their way from Williamsburg to Boston, from the 12-16 of July. Rochambeau’s map of the town is the earliest known surviving depiction of the earliest layout of Falmouth, and depicts King Street meandering along the waterfront, with the bulk of development concentrated between what is now West Cambridge and Gordon Streets (Figure 8).



Figure 5. Detail of A map of the most inhabited part of Virginia containing the whole province of Maryland with part of Pensilvania, New Jersey and North Carolina (Fry and Jefferson 1751).

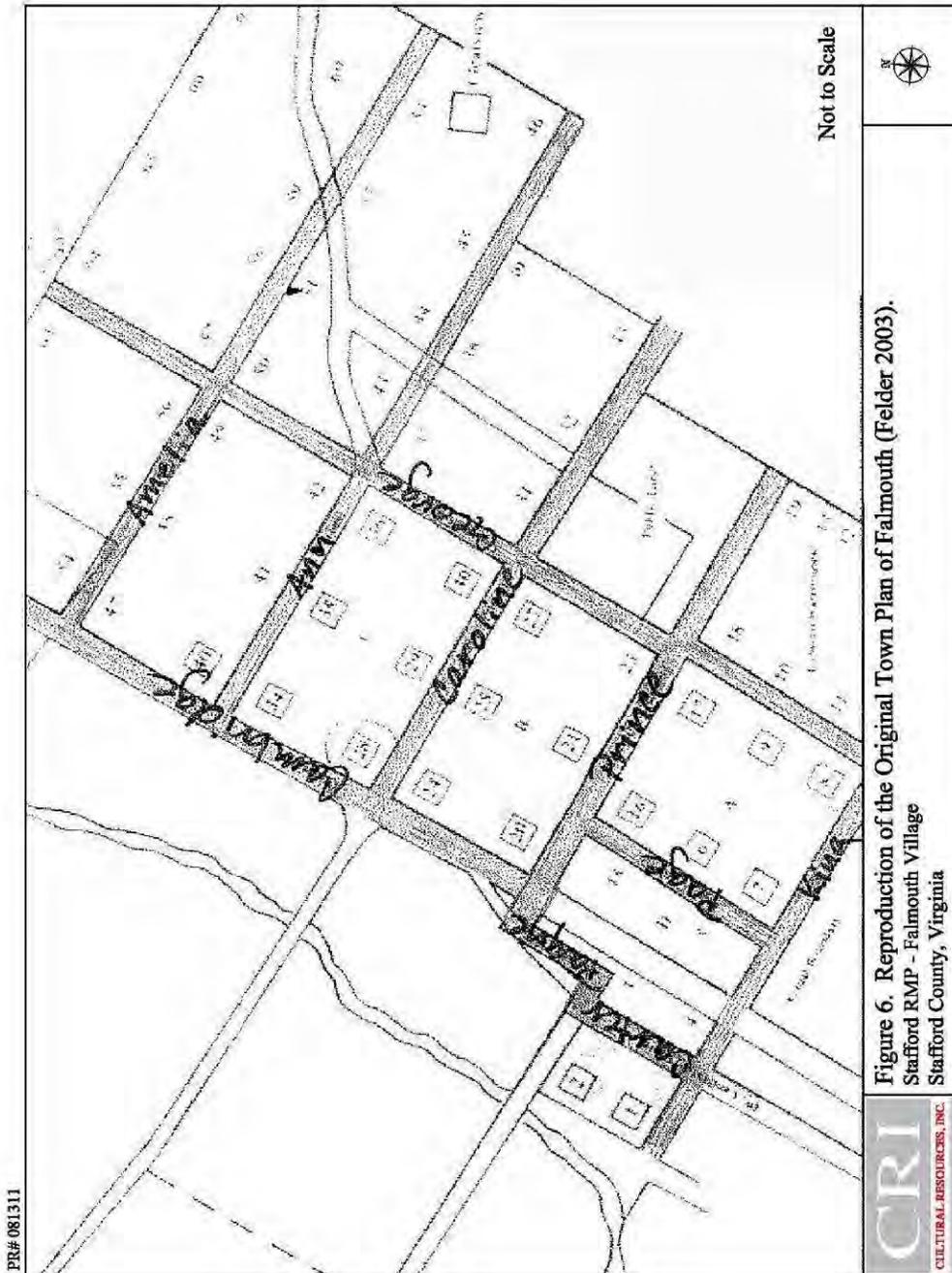
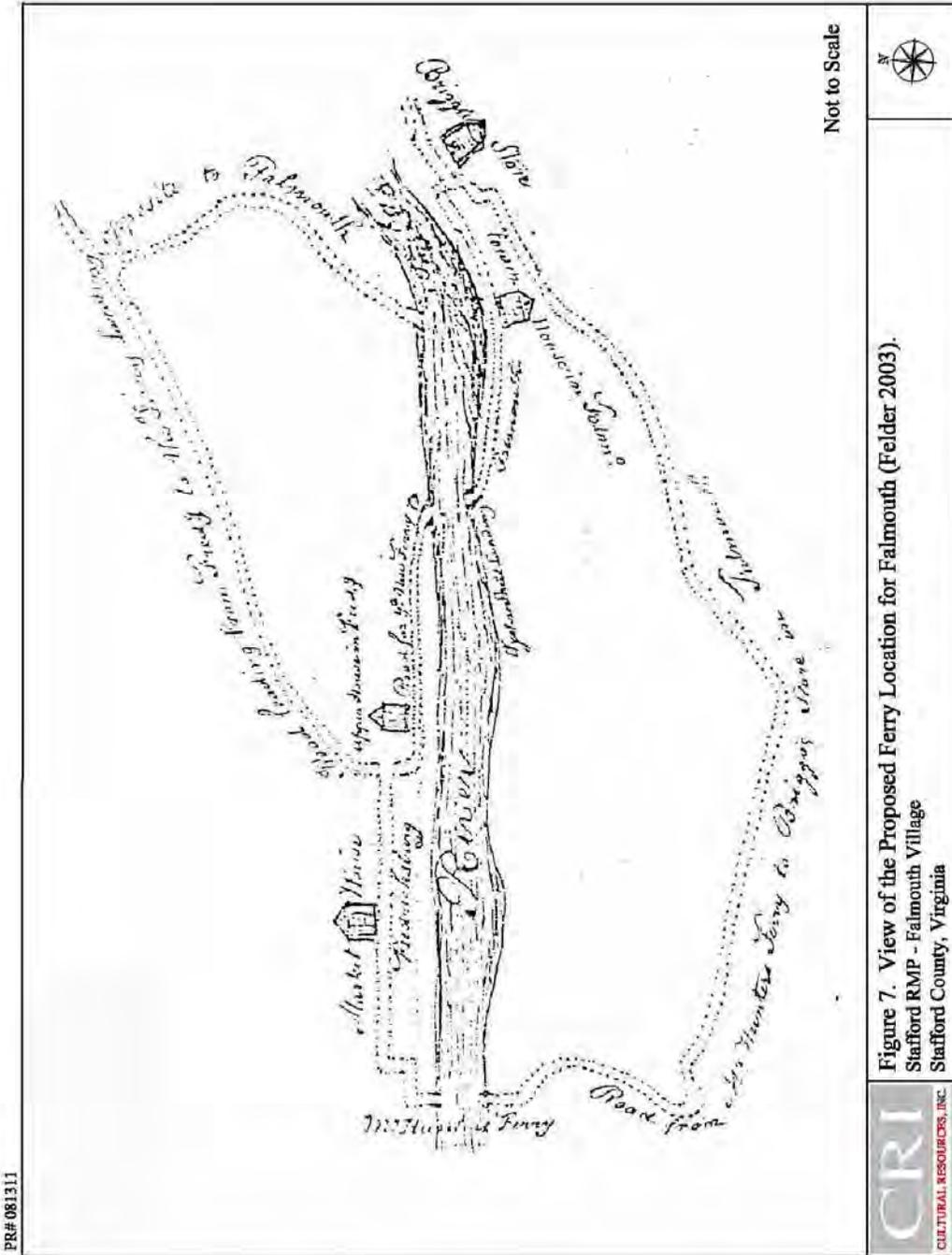


Figure 6. Reproduction of the Original Town Plan of Falmouth (Felder 2003).



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Figure 7. View of the Proposed Ferry Location for Falmouth (Felder 2003).
 Stafford RMP - Falmouth Village
 Stafford County, Virginia



Figure 7. View of the Proposed Ferry Location for Falmouth, 1779.

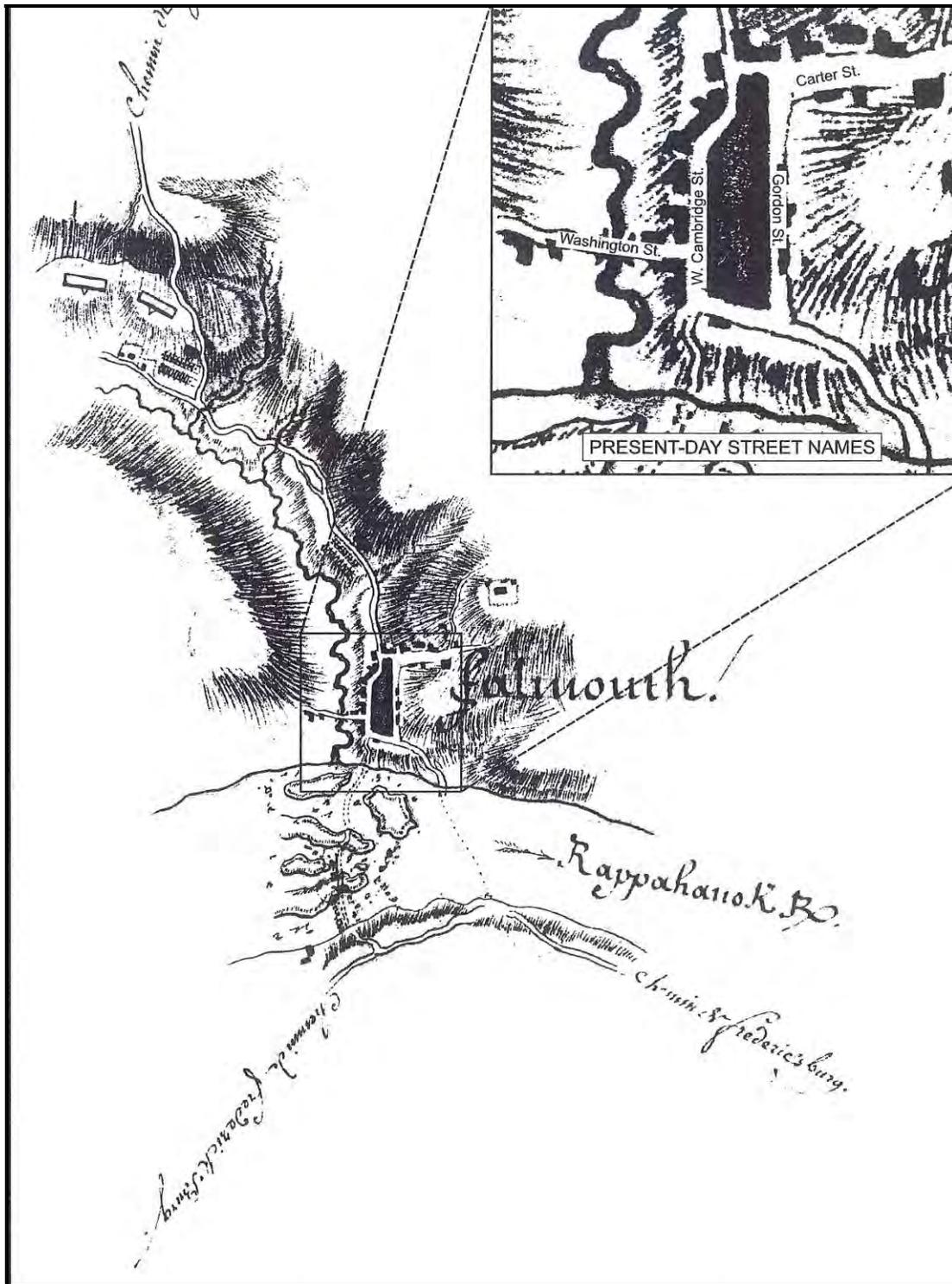


Figure 8. View of Rochambeau's Map of Falmouth (1782), with present day Street Names (from LBA 2005).

Early National Period (1789 - 1830)

During the late eighteenth and early nineteenth century, rural Stafford County underwent a radical transition between the tobacco-based plantation economy and a new diversified grain-based economy that would characterize the region through the nineteenth century and into the twentieth century.

By the time of the American Revolution, all arable land in the Tidewater and Piedmont regions of Virginia had been planted in tobacco at least once, and most areas were experiencing the effects of severe soil depletion. Between 1790 and 1820 as many as 250,000 Virginians moved from the older settled parts of the state to the recently opened southwest frontier, taking approximately 150,000 black slaves with them.

The virtual collapse of the tobacco economy and the concomitant out-migration of significant numbers of people had a revolutionary effect on the social and economic character of the Piedmont and Tidewater regions. Large plantations that had relied on slave labor were increasingly subdivided into smaller farmsteads that grew corn and wheat rather than tobacco. This change was also reflected in the cultural landscape, as settlement tended to move away from major rivers and creeks, the primary routes of transportation and communication during the earlier colonial period, and clustered instead along an increasingly complex system of interior roads (Bairley and Maginniss 1986:23 – 36; Kulikoff 1986:422, 429).

As a result of the change from a tobacco-based to a grain-based economy, numerous mills sprang up along the interior creeks (especially Aquia and Potomac Creek) of northern Stafford County. These mills allowed farmers to process their grain and other crops, and also provided wood for new construction. With an increase in population came the need for churches and other forms of infrastructure, such as additional roads (David 2004; Eby 1997).

The end of the Revolutionary War saw the arrival of a number of Scottish merchants into Falmouth, including Bazil and Samuel Gordon, James Vass, Duff Green, and Robert Dunbar. Bazil Gordon opened a small store in Falmouth to supply “necessary goods” to the farmers in the Piedmont region. He used the money to buy wheat from the farmers and had it turned into flour in the Falmouth mills, and shipped it to England. He was so successful at this venture that he came to be known as America’s first millionaire (Conway 1904, Johnson 1997).

In the early 1790s, Richards built the first mill in Falmouth, known as the Contest Mill. In 1793 John’s son William Richards built the Richard’s Mill, and sometime prior to 1801 the Richards built another mill called the Falmouth Grist Mill. The fourth mill in Falmouth was constructed by Robert Dunbar and John F. Slaughter, and was called Slaughter’s Mill (Johnson 1997).

In 1801 the Falmouth Grist Mill was sold to James Vass, who in turn sold it to Robert Dunbar in 1803. Dunbar had married into the Thornton family and gained control of the Thornton Bridge between Falmouth and the Thornton Mill, which also became the property of Dunbar. In 1802 Dunbar purchased the Rappahannock Forge property from James Hunter’s estate, which by that time included the forge complex, a merchant’s mill and grist mill. Flour had become the main export of Falmouth, however in 1807 Congress passed an embargo virtually ceasing commerce

with foreign nations in response to shipping restrictions placed by France and England during the Napoleonic Wars (Johnson 1997).

By 1809, when the embargo was repealed, Robert Dunbar was deeply in debt. He owned four mills and was responsible for the upkeep of the bridge, which had been nearly destroyed by a flood in 1807, and in 1809 he purchased the Contest Mill and the canal from William Richards. Even with the embargo lifted, Dunbar never recovered, and by 1822 had lost everything. His property was sold at auction in December of that year (Johnson 1997).

At the auction, William Brooke, Jr. and Joseph B. Ficklen bought Slaughter's Mill, and James Vass bought the remains of the Contest Mill and the canal. Ficklen was also the owner of the Belmont property, and Slaughter's Mill was renamed Bellemont Mill. James Vass had also bought the remains of the Richard's Mill, which had burned in 1808, and built the Thistle Mill on its ruins in 1812. That same year, he purchased the house he had been renting at 305 River Road. By 1822 the Thistle Mill was large enough to house the miller, a cooper's shop, and a barrel house, and that year a store and lumber house was added to the complex. In 1826 Vass decided to sell his Falmouth holdings and relocate to Fredericksburg, and sold the Thistle Mill to William Beale. The mill was then renamed the Eagle Mill (Johnson 1997).

After the general onset of decline in the Mid-Atlantic region's flour export trade circa 1816, Falmouth's prosperity fell off. The slump in the town's fortunes was probably exacerbated somewhat by the gradual silting up of the river. As of 1816 the coasting sloops and schooners, which transported commodities between the Rappahannock and ports of entry such as Baltimore and Norfolk, could still ascend the river to Fredericksburg but no longer to Falmouth. A boatyard at Falmouth was building shallow-draught scows that could carry heavy loads from the town to the ships at Fredericksburg. That same year Robert Lewis (son of Fielding Lewis) constructed a bridge across the river at the foot of Wolfe Street in Fredericksburg. The citizens of Falmouth protested in a petition to the General Assembly, but lost. The general consensus was that the river was already silted in too much at Falmouth for ships to reach, and that the new bridge provided no new obstacle (Johnson 1997).

In 1818 the Anglican/Episcopal church built in the 1750s suffered a devastating fire. A new, smaller (40x48 feet) brick church was built partially on the foundations of the old church in the same year. The new church was a vernacular representation of a Federal-style religious structure, complete with fanlights over the symmetrical entryways and a bell tower. Reflecting the changed circumstances of religious practice in Virginia since independence, the new edifice was designated a "union church" to be shared by Episcopalian, Presbyterian, Methodist, and Baptist congregations that would hold services on successive Sundays. The Falmouth community took up maintenance and use of the burial ground, and the church remained in active use as a place of worship until 1935 (Brydon 1948; Eby 1997:300; Gordon 1991; Shelton 1987:3).

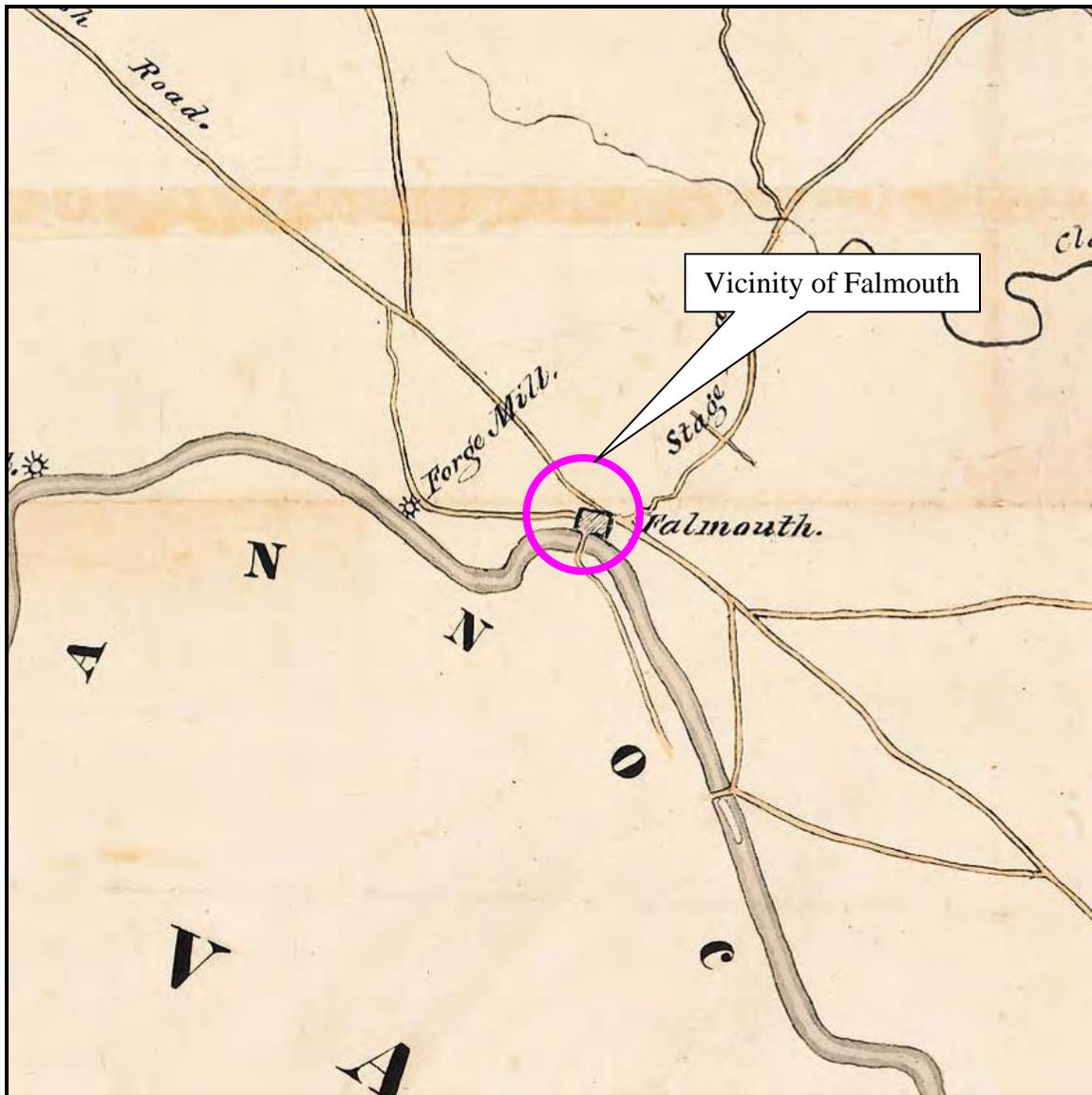


Figure 9. Detail of Map of Stafford County (Wood 1820).

Antebellum Period (1830-1861)

With the Antebellum Period, Stafford County saw the rise of the railroad system. First in 1834, the Richmond, Fredericksburg, and Potomac Railroad opened its first segment connecting Fredericksburg to the state capitol. Then in 1842, the railroad was completed as far north as Aquia, and eventually to Washington, D.C. With the railroad, farmers in Stafford gained easier access to larger ports of Fredericksburg and Richmond. Also during this time period the system of canals associated with Fredericksburg were constructed and helped sustain Fredericksburg as prominent port city. Roads also began challenging waterways as the dominant transportation route.

During this period, most county farmers had switched over to the mixed-grain crops. New farming techniques were introduced which restored some nutrients back into the soils and improved crop production. With increased crops came increased prosperity, so many farmers replaced earlier houses with new construction. The extent of the farming community within Stafford can be seen in the 1860 census where most households consisted of farmers with ten slaves or fewer. The slave population of this period accounted for 40.2-percent of the total county population (David 2004; Salmon 1994).

With the increase in the number of roads and accessibility to those roads, numerous farms sprang up along these new routes (e.g. King's Highway, Plank Road, and Warrenton Turnpike).

By 1835 the number of buildings reported in Falmouth was about half what had been attributed 40 years earlier. Falmouth's 70 dwelling houses were joined by "12 general stores, 1 house of public worship free for all denominations, 1 common school, 1 Masonic hall, 1 druggist shop, 1 tanyard, [and] 1 tailor [and] 2 blacksmith shops. The handsomest bridge across the Rappahannock is situated at this place." Approximately 500 inhabitants resided in the town, including two lawyers and three "regular physicians" (Martin 1835:285).

Martin paid particular attention to the six grain mills that were operating within Falmouth or its near neighborhood in 1835, as the mills together evidently formed the linchpin of the town's commercial role. By that date, with reference to the main export commodity in the region's agricultural economy, northeastern Virginia was fairly far advanced in its transition from tobacco to flour. Although the international market for American flour had contracted to a large degree, there was an increasing demand for flour in the growing cities and towns of Virginia, the greater Mid-Atlantic region, and New England. Falmouth and Fredericksburg's exports in flour, which had reached their highest point in 1816 at 160,000 barrels, had been reported at 126,000 barrels in 1831. Even though the number of barrels was less than a decade earlier, the export quantity ranked third in the state of Virginia, only behind Richmond and Alexandria (Johnson 1997:31). Martin recorded that three merchant mills and one grist- or custom mill were located within the town, and two gristmills were situated "in its immediate vicinity" (Martin 1835:285). Although the flour trade was constricting and had evidently become ever more competitive, there was enough vitality in it to inspire millers to open two more flour mills in Falmouth circa 1822 and circa 1830 (see Table 2) (Conner 2003; Johnson 1996, 1997).

A merchant miller was a businessman who concentrated on buying farmers' wheat outright and milling it for shipment to a broader market, and also purchasing and shipping flour from smaller-scale custom millers, thus tying his fortunes closely to the fluctuating price of flour. On the other hand a custom miller(proprietor of a gristmill) ground wheat and other grain for farmers as a service, collecting a toll (typically an eighth of the crop) in exchange. Hence Joseph Martin recorded in 1835 that Falmouth's three merchant mills together made about 30,000 barrels of flour per annum, and "inspected" another 60,000, probably meaning that they purchased the additional flour from other millers and farmers and then put their trademark stamp on the barrels before shipping the flour. Also operating in Falmouth in 1835 was a "buhr millstone factory," a workshop where the segmental millstones composed of the imported French stone that was considered essential for proper flour milling were assembled (Martin 1835:285).

The prolonging of Falmouth's role as a center for flour-milling was no doubt aided by the operation of the Orange Turnpike (the present-day course of Route 20 and Route 3 between Orange and Fredericksburg), to which the bridge over the Rappahannock provided access for Falmouth. The turnpike was incorporated in 1810 and completed to Orange in 1822, facilitating patronage of the mills by farmers in Orange and western Spotsylvania counties and adjacent areas. Despite help from the presence of the turnpike, by 1847 Falmouth's flour exports had decreased to 60,000 barrels. The circumstances of Falmouth's flour mills soon grew still more difficult as the operation of the new Orange and Alexandria Railroad began to exert a pronounced detrimental effect on the flour milling and shipping trade in Falmouth. The Orange & Alexandria was chartered in 1847 and completed from Alexandria to Gordonsville, 8 miles beyond Orange, in 1851. The farmers of north-central Virginia could now market their grain to large-scale millers in Alexandria, and the inland merchant millers of that region had their competitive position strengthened, as the railroad facilitated shipment of their flour to distant places. On the other hand Falmouth residents tried but failed to attract a direct rail connection for their town. The Fredericksburg and Potomac Railroad, constructed in the late 1850s, bypassed Falmouth by an interval of 1 mile (Harrison 1995:3; Johnson 1997).

The flour industry began to diminish because of changes in both transportation and soil needs, however, and town residents turned to another industry beginning in the 1830s: cotton. Textile production, then on the rise in the Mid-Atlantic region, no doubt appealed to Falmouth's businessmen as an alternative to the faltering flour-milling trade. Duff Green had purchased a portion of "Lot 3", purported to be just east of the intersection of Washington and West Cambridge Streets, by 1818. In the 1830s he was appointed inspector of flour for the port of Falmouth. In 1835 a number of his buildings on Lot 3 burned down, including the Falmouth Hotel, and in 1837 he constructed a cotton factory over their ruins. The factory was named the Elm Factory and was powered by steam, and employed 10 men and 20 women. The building itself was described as a three-and-a-half story brick building with a slate roof (Johnson 1996).

In 1839 a number of Falmouth businessmen formed the Falmouth Manufacturing Company, consisting of a flour mill, cotton mill, and iron foundry. Shares were sold for \$100 dollars. Raw materials from the surrounding farms were brought into the mills and manufactured products were sent to Scotland, England, and the West Indies. Stockholders in the company included Bazil Gordon, John Green, and John O'Bannon (owner of Carlton plantation) (Heflin 1937).

Falmouth remained busy and prosperous at the beginning of the Civil War, with the remaining mills working to serve the Confederate Army. However, all operations ceased in 1862 with the first Union occupation of Falmouth. Stafford County quickly became a central point of conflict between Union and Confederate troops attempting to gain strategic ground en route to either Washington D.C. or Richmond, Virginia.



Figure 10. The Conway House, ca. 1860 (illustration in *Autobiography: Memories and Experiences of Moncure Daniel Conway*, 1904). Note Falmouth Union Church in the background, and the original Basil Gordon House on the left.

Civil War (1861 - 1865)

Situated halfway between the capitals of the Union and Confederacy, it was inevitable that Stafford County would become a crossroads of military activity during the Civil War. When the Federal army forces arrived en masse in Stafford County in the latter part of 1862, Falmouth and Fredericksburg immediately became critical junctions for moving men and material southward, and thus became the center for intense military activity. Following General Burnside's abortive and costly river crossing and first assault on Fredericksburg, the Federal forces retreated across the Rappahannock River back around Falmouth to regroup. The Federal Army of the Potomac went into winter camp and numerous Federal units bivouacked in southern Stafford County over the next eight months of the campaign.

During the Fredericksburg and Chancellorsville campaigns, from November 1862 through June 1863, Stafford County was occupied by more than 100,000 troops of the Federal Army of the Potomac, and its military encampments occupied thousands of acres from Aquia Creek south to the Rappahannock River. With a force numbering over 100,000 men, the effect of the Federal Army's presence on Stafford's landscape and economy was devastating. The countryside was almost completely denuded of trees and fences; agricultural fields were neglected and trampled, while foraging troops "liberated" food and other essential supplies from the civilian population.

In 1862, when the first soldiers arrived in Falmouth, an officer from Texas noted the Elm Factory:

"The first thing we saw upon entering Falmouth...was a factory with about three hundred windows, and in every window a girl" (in Johnson 1996).

The factory shut down shortly thereafter, and sent all of its mechanical parts to Manchester for storage and safekeeping (Johnson 1997). The mills were abandoned in April 1862 when Union General Irwin McDowell commenced the first of three episodes of occupation of Falmouth by the Northern army, and apparently remained closed for the duration of the conflict. Confederate Army engineers demolished the 1818 bridge over the Rappahannock in 1862 to deny its use to Union forces. At some date soon after the war a replacement span would be erected on the same site (Johnson 1997).

Falmouth was occupied by Union forces for about one quarter of the Civil War, primarily during the middle period of the conflict from April 1862 to June 1863. McDowell made the town the major post for the secondary force intended to exert pressure on the Confederate Army from the north, during the period April 17-August 31, 1862, while General George B. McClellan directed the main thrust to capture Richmond from the east by an advance along the Peninsula between the York and James rivers. Union troops withdrew from Falmouth with General Robert E. Lee's victory at the Battle of Second Manassas (August 29-30). They returned on November 17, 1862, and remained until June 15, 1863, Falmouth serving throughout that interval as the location of the Army of the Potomac's headquarters and major depot for supply and hospital activities. Many residents, primarily the more wealthy families with properties elsewhere, abandoned the town while it was filled with and surrounded by camping Union troops. During that time the successive Union commanders, Ambrose Burnside and Joseph Hooker, waged their campaigns

of Fredericksburg (December 13) and Chancellorsville (May 2-4), crossing the Rappahannock and attempting in vain to outfight Lee's Army of Northern Virginia. As an interesting side note, it was in Falmouth in April of 1863 that George A. Custer was promoted to Captain (Figure 15).

Union Church was employed during the battles as a hospital for Union troops, many of whom were buried, at least temporarily, in the Falmouth Cemetery. At other times, it served as a barracks. As one long-time resident of Falmouth recounted during a 1934 Works Progress Administration (WPA) interview (Writers Program of Virginia 1992): "The interior of the church was entirely destroyed by the Federals. The pews were all chopped to pieces and taken down and practically all the wood work was cut up." After the war ended, the federal government gave the town \$800 to repair the damages to Union Church caused during the occupation. During Reconstruction an allotment of \$800 was a large sum of money, another testimony to the wartime damage to the church and surrounding grounds (Brydon 1948). The Conway House was also used as a hospital during the war, from 1862-1865 (Conway 1904).

The final occupation lasted for about three weeks in May 1864, as Ulysses S. Grant marched south to press Lee relentlessly, fighting the Battles of the Wilderness (May 5-6) and Spotsylvania Courthouse (May 8-19). Falmouth again served as a supply and hospital depot. In addition to these episodes of large-scale occupation, Falmouth was entered repeatedly by Union cavalry patrols carrying out reconnaissance missions (Esposito 1959:42, 50, 52-58, 65, 71, 87, 93; Harrison 1995:16-17, 22-23, 64-73; Rable 2002:80-83; Sears 1996:47).

The Union occupation was highly disruptive in its effects on the life of the town. Many peacetime residents fled, while runaway slaves, camp followers, and other "volunteers" were attracted to the presence of the Army of the Potomac. The influx of soldiers and other non-residents needing quarters resulted in squatting in otherwise empty houses, mills, and shops, with attendant vandalism to these buildings as well as to outbuildings and fences (Harrison 1995:68-70). One Union soldier recalled that

The duty we had to do in the village was very much like police duty. Falmouth at that time was infested by all kinds of people, both men and women, that followed the army, so at times our day was quite spicy [Harrison 1995:69].

Another remembered that

The village itself was a ruin; its church used as a barrack for troops; its stores and factories closed. A large number of the inhabitants were still there, living as best as they could . . . old men, women and children [Harrison 1995:70].

Four years of warfare left Stafford County barren and devastated, and the effects of the conflict remained visible on the landscape into the twentieth century. "No county in the United States felt the war so harshly as Stafford," Homer Musselman asserts. "When the war ended Stafford was utterly devoid of stock, food, and forage and the soil had gone down or grown up in brush. Hundreds of homes had been burned, the records at Stafford Court house had been half destroyed and those that remained were damaged. The churches had been burned, the roads were impassable" (Musselman 1995: vii; 77-86).



Figure 11. Officers of the 61st New York Regiment in Camp near Falmouth, VA, April 1863 (Library of Congress Prints and Photographs Division).



Figure 12. View of Men and Wagons of the Engineer Corps Ambulance Train near Falmouth, VA (Library of Congress Prints and Photographs Division).



Figure 13. View of Balloon Camp in the Vicinity of Falmouth, VA (Library of Congress Prints and Photographs Division).



Figure 14. View of a Group in Front of the Post Office of the Headquarters of the Army of the Potomac near Falmouth, VA (Library of Congress Prints and Photographs Division).



Figure 15. View of Capt. George A. Custer and Gen. Alfred Pleasonton on Horseback near Falmouth, VA (Library of Congress Prints and Photographs Division).



Figure 16. View of the Drum Corp of the 61st New York Infantry near Falmouth, VA (Library of Congress Prints and Photographs Division).

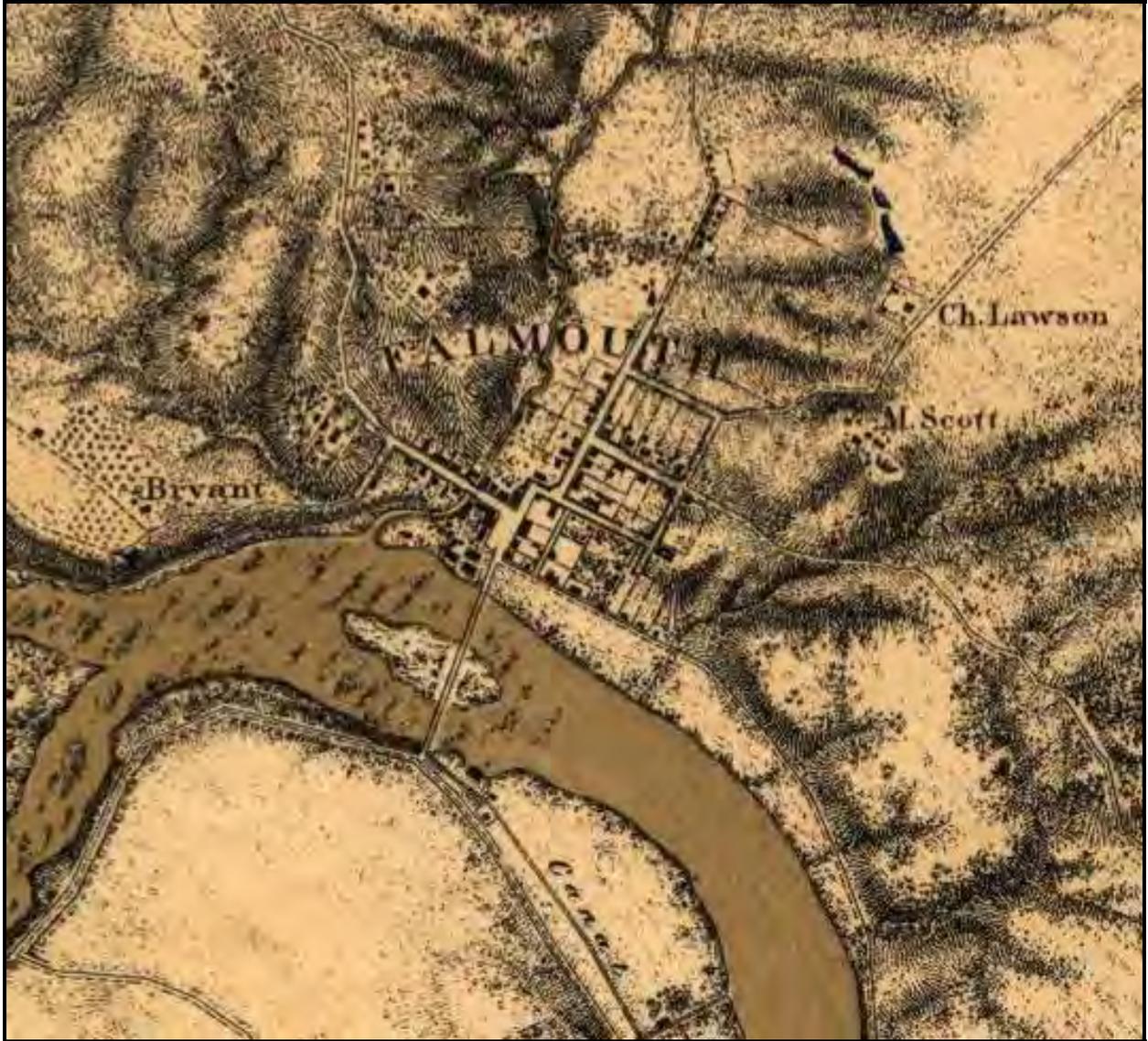


Figure 17. Detail of *Fredericksburg* (Michler 1862)



Figure 18. Detail of Map of Stafford County, Va (Blackford 1863).

Reconstruction and Growth (1865 - 1917)

After the Confederate surrender at Appomattox in 1865, thousands of ex-Confederate soldiers returned home, only to be denied their civil rights by a heavy-handed Radical Republican Virginia post-war political machine. Four years of war had a devastating effect on Virginia, and Stafford County was no exception. The combined loss of manpower and draft animals, the damages to property, the neglect of agricultural land, and the emancipation of the slave population had a detrimental effect on the county's economic and social landscape in the postwar era. Over the following years, property values plummeted: land that had sold for ten dollars per-acre before the war now fetched only one-to-three dollars. In fact, the real estate market was so depressed that during their 1869-70 session the General Assembly of Virginia enacted a law prohibiting the sale of land for less than 75-percent of its assessed value (Kaplan 1993: 153-56).

In a pattern reminiscent of the early nineteenth century, postwar agricultural difficulties prompted some Stafford County farmers to seek alternative sources of income. The solution for many was to sell off the timber on their land for cash. Those who continued to farm joined the "Grange," or "Patrons of Husbandry," a fraternal order established in 1867 and dedicated to helping farmers learn new agricultural methods. Though the Grange had lost most of its power

by the 1890s, it was replaced by similar organizations, including the Farmers' Assembly and Farmers' Alliance, and the annual Farmers' Institutes (Manarin and Dowdey 1984: 341-44). Like other neighboring counties, Stafford suffered a decrease in population in the immediate postwar period, and this trend of slow depopulation would continue through the early twentieth century.

While the majority of the post-war economy of Virginia suffered, a number of residents of Stafford County managed to maintain their economic standing, largely through their diversified produce farming and seafood industry. The pre-war ties to the port city of Baltimore and its canneries enabled substantial numbers of local watermen to harvest the much-desired oysters, crabs, and other seafood along the Potomac and ship them, via steamboat, rapidly to the markets to the north. By the turn of the nineteenth century eastern Stafford County remained 80-percent agricultural, and was characterized by the transition from grain and tobacco crops to a greater concentration on dairying and market gardening. Large family farms were still present across the county, but these were increasingly subdivided, with many producing enough only to sustain the family and livestock.

The Green and Scott cotton mill, the Scott flour mill business and the Brooke gristmill were recorded as being in operation by the 1870 Census of Manufactures, although the Scott flour mill was now doing much of its business as custom- instead of merchant-mill work. By 1880 industry was all but absent in Falmouth. Of the three 1870 establishments, only the former Scott mill, now identified by its actual owner, the Fredericksburg Water Power Company, was still open for business, but only doing custom work, not producing flour. By 1890 no mills were listed in the business directory for Falmouth. The demise of Falmouth's once vibrant flour and cotton milling industry was brought on by four primary factors: (a) an adverse situation regarding transportation routes, (b) the disruption of business and apparently the actual physical damage attendant upon the Civil War, (c) the decline of the Mid-Atlantic region's wheat trade as the Upper Midwest arose in the late 1860s as the nation's preeminent wheat-producing region, and (d) the advent of the roller form of flour milling beginning in the late 1870s. Conversion of flour mill buildings for the roller milling apparatus required sizable investment, and nationwide the trend in milling during the 1880s and 1890s was for many flour mills to close while others, eventually a substantial minority, made the conversion. Combined with the rise of larger-scale flour mills, often located by rail lines and employing steam or electric power, roller milling brought on a process of greatly increased centralization in milling. In addition, most of the cotton production after the war became increasingly mechanized, therefore requiring larger buildings in sizable communities. Following the Civil War farmers who had patronized Falmouth's mills increasingly took their grain to mills in Fredericksburg or other locations. As for the Elm Factory, according to industrial historian John Janney Johnson (1997), the cotton mill operated sporadically from 1866 until closing permanently in 1877 (Chataigne 1880:486, 1890:1027; U.S. Bureau of the Census 1870, 1880a).

The 1880 edition of *Chataigne's Virginia Business Directory* showed Falmouth still functioning as a center for local retail, with seven entries under the heading Merchants and Tradesmen, each purveying varying combinations of general merchandise, groceries and liquor. *Chataigne's* also listed a lawyer and two physicians as present in town. The population census for 1880, however, conveys a much more pronounced sense of change in the town from its prewar status. The

number of households listed was just 52, down from 87 in 1860, a decrease of 40 percent. Thirty-eight households (73 percent) were headed by whites, 14 (27 percent) by African-Americans. There were a total of 262 inhabitants. Of the old group of elite families named by the 1896 memoirist, only two households, those of legislator Duff Green (son of the cotton mill owner) and Margaret Barnes were listed. Apart from three grocers, a miller, a millwright, a farmer, and an “ex-constable,” individuals whose economic standing is unclear, the two physicians were the only other heads of household whose occupations indicated upper to middling status. It appears that the lawyer and the four other storeowners listed in the directory rode into their Falmouth places of business from residences outside of town. The remaining heads of household in the census return included 14 laborers, three carpenters, two wheelwrights, two store porters, two workers at the flour mill (apparently referring to Falmouth’s remaining mill), two butchers, one shoemaker, one blacksmith, one cooper, one worker at the woolen mill (evidently an early commuter to Fredericksburg), one gardener, one washerwoman, and 10 women with no occupation listed, all of these women but one being age 52 or older. The overall impression from the 1880 census return is that, in terms of economic status, the population of the much reduced town had made a pronounced trend downward since 1860 (Chataigne 1880:486; U.S. Bureau of the Census 1880b).

By around 1880 Falmouth had become a rural village where artisans and a few retail businesses provided goods and services to the farmers and other nearby residents. The 1896 memoirist noted that many members of Falmouth’s wealthier families had transferred their residence to Fredericksburg following the war and that only a few had stayed in Falmouth. He further observed that

The comparison of the Falmouth of today and that of the day of which I write is not favorable to the town of recent date, although at present it may be more quiet and peaceable than of yore. The charm of “ye olden time” has departed, and the town is prosaic and dull [*Free Lance* 1896].

The writer expressed the fear that Falmouth residents of 1896 ran a risk of dying “of inanition,” that is, the absence of social or intellectual vitality (*Free Lance* 1896). Falmouth’s larger neighbor Fredericksburg, although weathering its own economic woes, benefited from its railroad connections to grow increasingly preeminent as the commercial, industrial, and social center of the Stafford-Spotsylvania region. In Falmouth, while some dwellings and other buildings were repaired as needed for continued residential and commercial use, the mill buildings, canal walls, and other traces of the town’s industrial legacy gradually crumbled or were quarried for recycling into other buildings and structures constructed in the vicinity (Johnson 1997).

Directory and census data from circa 1900 showed Falmouth still functioning as a center for neighborhood retail commerce. The 1897 *Virginia State Gazetteer* listed 10 general merchants businesses for Falmouth, along with two shops in the blacksmiths and wheelwrights category, one coach and wagon builder, one saw and planing mill, and two physicians. Since 1880 the town’s population had begun its climb back toward the prewar level, with the 1900 census recording 347 inhabitants in 71 households. One perhaps significant change was that the proportion of African-American heads of household was much reduced from what it had been in

1880, to just seven (10 percent), possibly reflecting changes in attitudes with the onset of the “Jim Crow” era in the mid-1890s (J. L. Hill Printing Company 1897:1174-1176; U.S. Bureau of the Census 1900). Despite large-scale destruction by Union troops during the war, Union Church and the Falmouth Cemetery continued to function as the social and religious center of the community. When Halley’s Comet passed by in May 1910, the entire community gathered in the cemetery, the highest point in town, to view what many believed to be the end of the world (Citizens to Serve Stafford 1991:176-178).



Figure 19. View of West Cambridge Street from the Old Falmouth Bridge, ca. 1901 (Belmont, *The Gari Melchers Estate & Memorial Gallery, Mary Washington College, Fredericksburg, Virginia*).

World War I to World War II (1917-1945)

The year 1916 marked the arrival of artist Gari Melchers (1860-1932), who purchased Belmont, the frame mansion house on the western edge of town (built in 1761 for Susannah Fitzhugh Knox, who is buried in Falmouth Cemetery; the house was enlarged in 1843). Melchers added a large studio wing to the house and spent his remaining years at Belmont. After decades of painting rural landscapes and portraits of rural people in Europe, Melchers turned his attention to the inhabitants and the vernacular landscape of the Virginia countryside. Today Belmont is a museum of Gari Melchers's life and art administered by the University of Mary Washington (Eby 1997:314-315; Writer's Program of Virginia 1992:349).

As of 1917, Falmouth remained a local center for retail business. Ten general stores and three grocery stores were listed in the directory, along with two physicians, two barber shops, two blacksmith or wheelwright workshops, one cannery, one livestock dealer, and two contractors and builders firms (Hill Directory Company 1917:973-974).

The census return for 1920 counted 75 households in Falmouth, with a total of 399 inhabitants, a moderate increase from the 347 residents of 1900. Just five of the heads of household, or seven percent, were African-American, reflecting a further proportional decrease in this category. Falmouth remained a community where the majority of households were tenants, 39 (or 54 percent) of the 72 households that responded on this question. Very few town residents were listed for occupations that strongly suggested upper to middling economic status, just the two heads of household listed as merchant-and-farmer and the one merchant who owned one of the Falmouth stores. On the other hand a number of residents were commuting to lower-status jobs at Fredericksburg industrial establishments: six operators at pants factory, a cutter at pants factory, two operators at a shirt factory, an engineer at a shirt factory, an inspector at a shirt factory, an operator at a silk mill, a weaver, and a molder at a foundry. Six heads of household were laborers (unspecified), three were railroad laborers, three farm laborers, two lumberyard laborers, one lumber mill laborer, and one tavern laborer. Falmouth was still home to several artisans, including three house carpenters, two blacksmiths, two plasterers, a stone mason, a tailor, and a butcher (U.S. Bureau of the Census 1920).

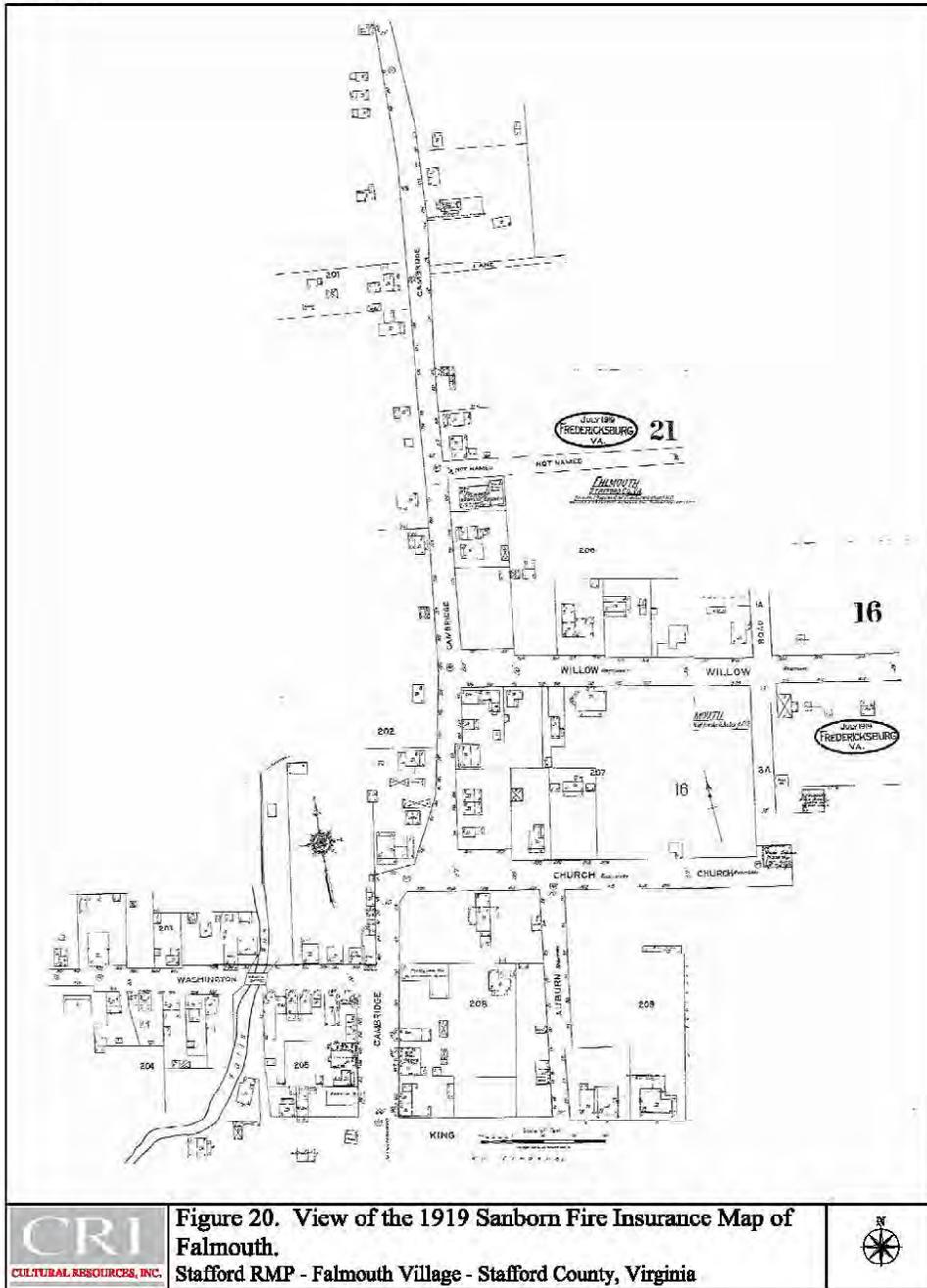
In the years around 1920 a new pattern of land subdivision and dwelling construction was initiated on the northern and eastern fringe of town, evidently in response to the onset of the era of mass automobile ownership. Having a car made a place of employment on the south bank of Rappahannock increasingly accessible to residents in and around Falmouth. Small residential lots began to be surveyed and sold for the block situated to the east of Cambridge, south of Butler, and north of Carter, for the block across Butler to the north, and for adjacent areas. Until this development, there appears to have been relatively little construction of new houses in Falmouth since the Civil War. The 1930 census counted 75 households in Falmouth, the same number as in 1920, suggesting that the new construction of circa 1920-1926 may have represented a shift of residence for some local households, from nineteenth-century dwellings into more desirable modern houses (Colvin 2005; Day 2005; Rogers 2005; Stafford County Deeds 18:213; Walker 2005).

When WPA historical writers surveyed Falmouth around 1940, they found the town's population to number about 500, the same size it had remained for at least a century. Falmouth, according to the picturesque phrasing of the WPA author, "carries on its life amid the decayed charm of its former lively self" (Writer's Program of Virginia 1992:348). In 1943, after a flood had again destroyed the bridge in the previous year, Falmouth underwent its most major change in town configuration since the eighteenth century. Route 1 was realigned from its original position along Cambridge Street to its current configuration approximately 120 feet east of the old bridge alignment. To accommodate a new, taller bridge built of reinforced concrete over the Rappahannock, the roadway was raised approximately 20 feet above the previous elevation. This left most of the original downtown area in the shadow of the new transportation route.

Another major community-altering event took place in 1950. During a major rain storm most of Union Church was destroyed. To the citizens of Falmouth, the church was emblematic of not only their once prosperous history but also of the will of the town to endure repeated tribulations, including the Civil War, Reconstruction, and the Great Depression. "The church, which had afforded spiritual refuge to the people of the community and physical relief to broken bodies during the Civil War, could take no more. Her body collapsed, leaving only the façade..." (Citizens to Serve Stafford 1991:143). Limited archaeological excavations conducted by the Stafford County Historical Society in 1989 revealed that the foundations of Union Church, as well as the earlier 1750s church upon which the newer building had been partially erected, had extremely narrow foundations. The brick foundation was only one brick wide and extended only a handful of courses into the ground (Dodd 2005). The dearth of below-ground support likely led to the collapse of the church during the 1950 storm. Despite the destruction of most of the building, the primary elevation and narthex were salvaged and stabilized immediately after the storm. The remains of Union Church continue to stand on the knoll overlooking town as a monument to the town's history and dedication to its past.

The First World War provided some economic impetus to the surrounding area with the construction of the new Quantico Marine Corps Base, just to the north in Stafford and Prince William counties. Despite these improvements in neighboring counties, this portion of Stafford County remained a secluded agricultural area long after the end of the war. The Great Depression of the early 1930's affected Northern Neck farmers and watermen to a lesser degree than in other regions, due to the diversity of produce grown on the local farms, as well as the rich resources of the nearby Chesapeake Bay and Potomac River.

World War II provided a second impetus for growth in the region, with the expansion of Quantico Marine Corps Base to the north, the creation of Fort A. P. Hill to the south, and expanded facilities at Dahlgren to the east. Many of the larger farms in eastern Stafford County were still in operation, although at greatly reduced levels, and lumbering activities and private hunting clubs, which were utilized by county natives as well as people from neighboring counties, dominated the timbered interior of the county.



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Figure 20. View of the 1919 Sanborn Fire Insurance Map of Falmouth.
Stafford RMP - Falmouth Village - Stafford County, Virginia



Figure 20. View of the 1919 Sanborn Fire Insurance Map of Falmouth.

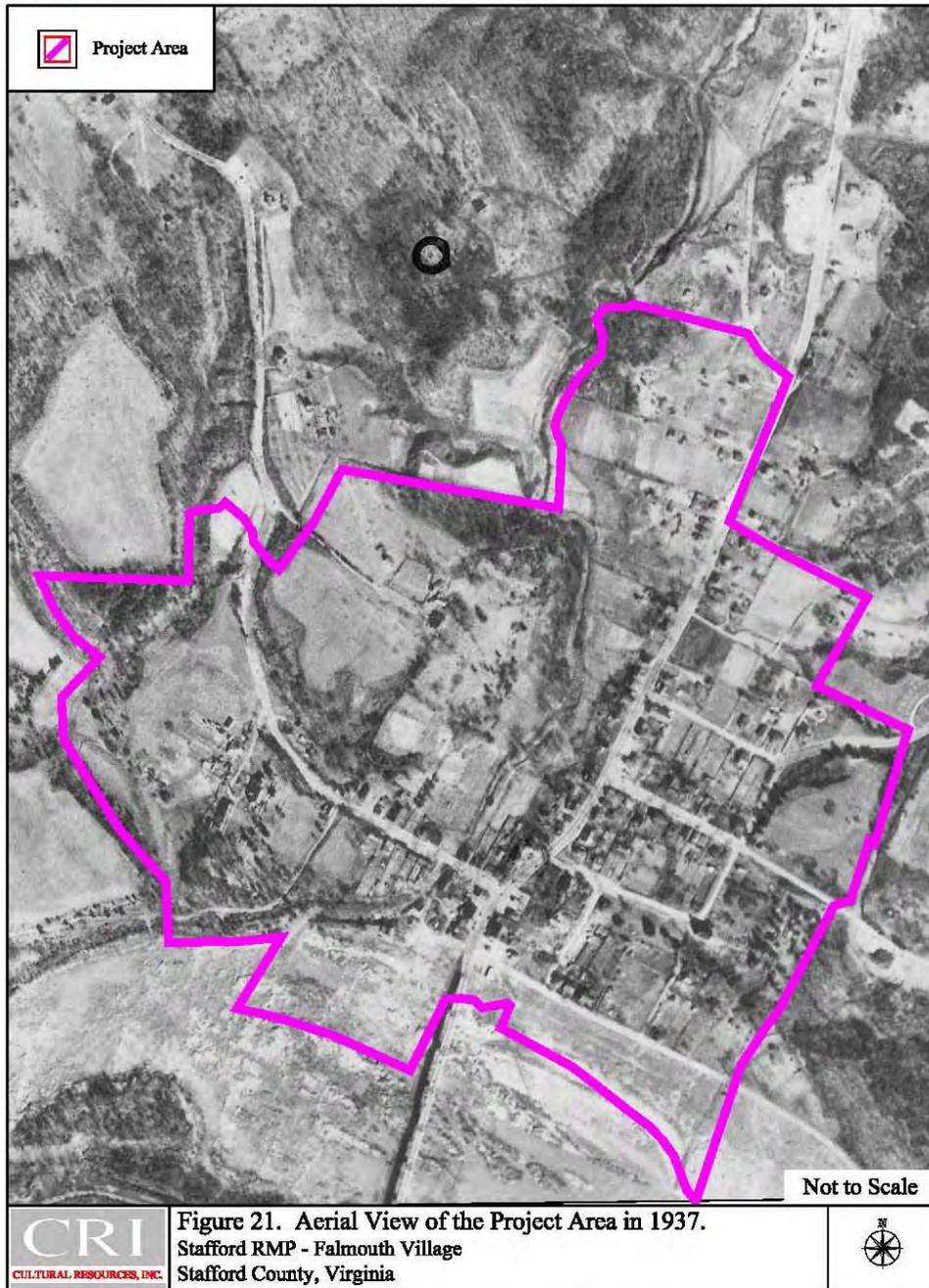


Figure 21. Aerial View of the Project Area in 1937.

The New Dominion (1945-Present)

Until World War II, Stafford County remained largely rural and agricultural, with its economy rooted in farming, fishing, and timbering. With the rapid expansion of the Washington, D.C. metropolitan area since the 1950s, however, Stafford County increasingly has become a “bedroom community” of the capital, witnessing tremendous suburbanization that has thoroughly altered the economy and landscape of the area (Barber et al. 1992).

In the second half of the twentieth century, with the character of Falmouth in its overall extent more that of a direct suburb of Fredericksburg than of a community that is an urban entity in its own right, the town grew considerably. Reflecting the powerful rate of population growth that has affected northeastern Virginia since circa 1960, the census of 2000 recorded Falmouth’s population at exactly 2,000 people.

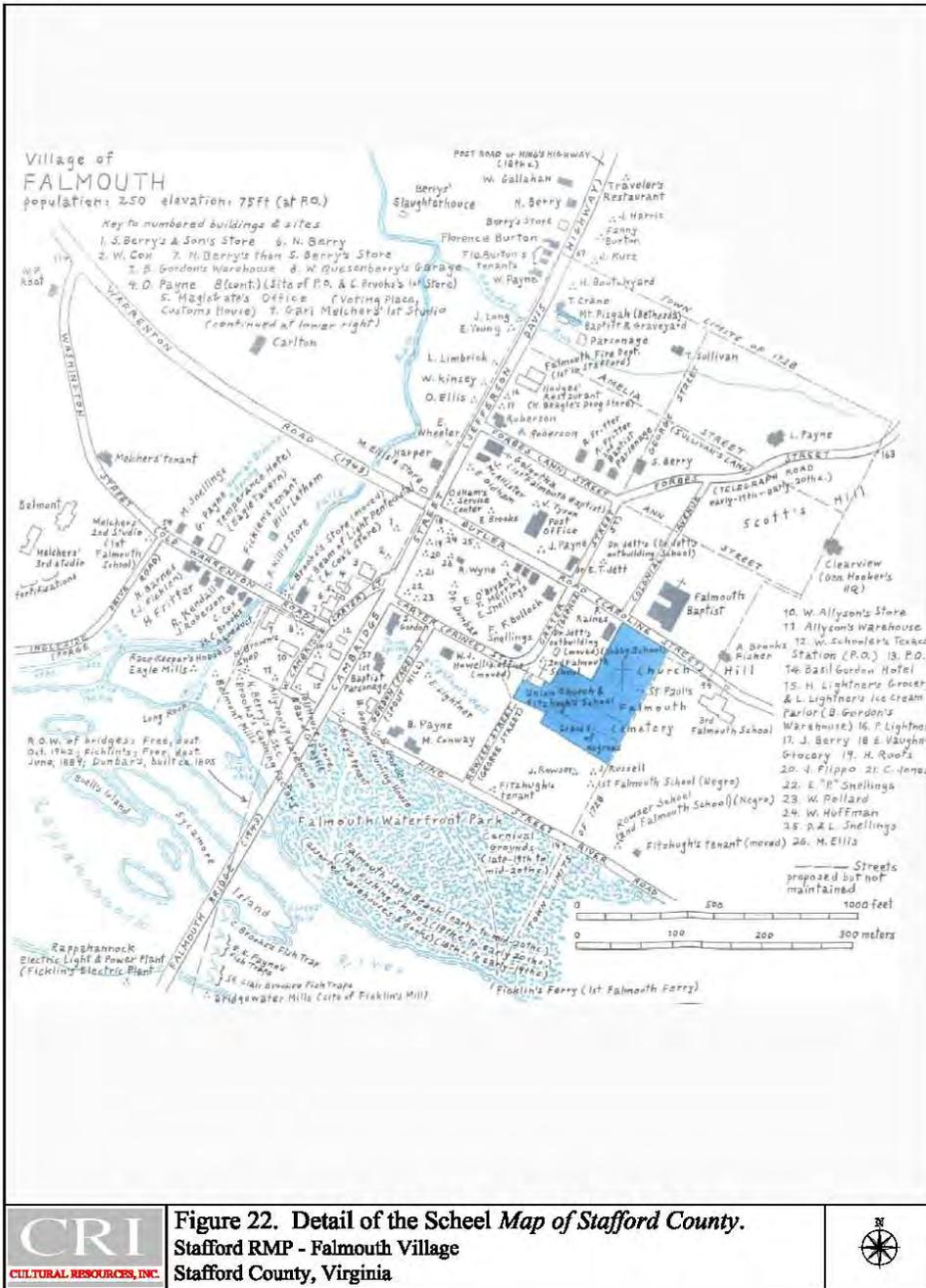


Figure 22. Detail of the Scheel Map of Stafford County, depicting the Project Area.

IV. RESEARCH DESIGN

Objectives

CRI designed the survey to provide an overview that delineates areas of low and high potential for archaeological sites within the project area, as well as to document any standing structures over 50 years of age located within the project area. The project area coincides with the original NRHP historic district boundaries. Most of the buildings inventoried during the present project had been previously recorded. As such the buildings 50 years or older at the time of the nomination were included as contributing resources. These buildings were re-surveyed to update the present status of the structure (i.e. whether the building had been demolished or retains sufficient architectural integrity to remain a contributing resource). Any new resources that had become the age of 50 or older since the original NRHP listing were considered on their architectural merit and proximity to surviving historic structures to make an eligibility determination for inclusion to the district or as an individual resource. The four National Register criteria, listed below, were used in the evaluation of the structures.

- A. Associated with significant events in the broad patterns of national history,
- B. Associated with the lives of persons significant in our past,
- C. Representative of a type, period, or method of construction, or the work of a master,
- D. Capable of yielding important information about the past.

Criterion D typically applies to archaeological sites. In order to be capable of yielding important information about the past, generally a site must possess artifacts, soil strata, structural remains, or other cultural features that make it possible to test historical hypotheses, corroborate and amplify currently available information, or reconstruct the sequence of the local archaeological record. To be considered significant, archaeological sites must demonstrate sufficient integrity to answer important research questions. These questions are developed in association with temporally, regionally, and thematically defined historic contexts or study units (United States Department of the Interior 1981).

The background research for the assessment included a thorough review of the VDHR archives for information on all recorded cultural resources, both archaeological and architectural, located within the current project area as well as those within a half-mile radius (see Tables 2 and 3).

Previous Investigations

Previous survey efforts in Falmouth began with a Works Progress Administration of Virginia Historical Inventory in 1936. In 1958 a number of buildings within Falmouth were recorded as part of the Historic American Building Survey (HABS), and in 1970 the Falmouth Historic District was nominated to the NRHP. In 1977, 35 historic resources were recorded as part of the 1978 plan for Falmouth. Traceries, Inc. conducted a study of Falmouth and Stafford County in 1992, and in 2005 VDOT conducted a thorough study of Falmouth for their Historic District boundary amendment nomination.

Archaeological Sites

There are 10 previously identified archaeological resources within the project area (Table 1, Figure 23). Of these, six are eligible for listing on the NRHP as contributing elements to the Falmouth Historic District. Site 44ST0066 represents the Falmouth Canal, constructed ca1776. Site 44ST0081 represents the Falmouth Union Church and Cemetery, which dates to the eighteenth century. Site 44ST0083 represents an eighteenth-nineteenth century warehouse site with a Late Woodland village component on the banks of the Rappahannock River. Site 44ST0098 represents an eighteenth-nineteenth century mill. Site 44ST0154 represents the archaeological remains of the Old Falmouth Bridge, which was washed away during a flood in 1937. Site 44ST0159 represents the remains of the Eagle Mill and raceway, which dates to the first half of the nineteenth century. The mill itself was moved stone by stone and used as an art studio by Gari Melchers at Belmont (VDHR Archives). The remaining four previously identified resources within the project area consist of three dwelling sites and a dam; none of which have been evaluated for listing on the NRHP (VDHR Archives).

An additional 16 resources are located within a one-half mile radius of the project area. Of these, one site is listed on the NRHP, one site has been determined eligible for listing, one site has been determined not eligible for listing, and the remaining 13 sites have not been evaluated (VDHR Archives).

VDHR #	Resource Type	Association	Reference	NRHP Recommendation
44SP0026	Fish Dam; Camp	Archaic; Late Woodland	Bushnell 1933; WMCAR 1997	Not Evaluated
44SP0082	Mill	19 th c.	Larson 1983	Not Evaluated
44ST0007	Hunter's Iron Works	17 th -19 th c.	Brady 1988	NRHP Listed
44ST0046	Camp	Late Archaic; Early Woodland	Clark 1977	Not Evaluated
44ST0047	Camp	Unknown prehistoric	Clark 1977; WMCAR 1997	Not Evaluated
44ST0048	Camp	Unknown prehistoric	Clark 1977	Not Evaluated
44ST0049	Camp	Unknown prehistoric	Clark 1977	Not Evaluated
44ST0066	Falmouth Canal	1776	McCartney 1981	Contributing resource to the NRHP listed Falmouth Historic District
44ST0078	Lawrence's Mill	18 th c	Larson 1983	Not Evaluated
44ST0081	Falmouth Union Church and Cemetery	18 th -20 th c	Wittkofski 1984; Pendleton 2005	Contributing resource to the NRHP listed Falmouth Historic District
44ST0083	Warehouse; Village	18 th -19 th c; Late Woodland	Hodges 1985	Contributing resource to the NRHP listed Falmouth Historic District
44ST0098	Mill	18 th -19 th c	ASV-1987	Contributing resource to the NRHP listed Falmouth Historic District
44ST0135	Rochambeau Camp	18 th c	Rothwell 1989	Not Evaluated

Table 2. Previously Identified Archaeological Resources Within a Half-Mile Radius of the Falmouth Village Project Area.

VDHR #	Resource Type	Association	Reference	NRHP Recommendation
44ST0154	Old Falmouth Bridge	19 th -20 th c	ASV-1989	Contributing resource to the NRHP listed Falmouth Historic District
44ST0159	Eagle Mill and Race	19 th c -1 st half	ASV-1989	Contributing resource to the NRHP listed Falmouth Historic District
44ST0191	Dwelling	18 th c	ASV-1991	Not Evaluated
44ST0219	Camp	Unknown prehistoric	WMCAR 1993	Not Evaluated
44ST0240	Belmont Dam	20 th c-1 st half	Sanford 1994	Not Evaluated
44ST0612	Encampment	19 th c-3 rd quarter	Zawacki 2004	Eligible
44ST0613	Domestic site	19 th c-2 nd / 3 rd quarter	Zawacki 2003	Not Eligible
44ST0698	Domestic site	19 th c-1 st half	Carmody 2005	Not Evaluated
44ST0783	Camp	Unknown prehistoric	Crowl et al 2005	Not Evaluated
44ST0785	Lithic Scatter	Unknown prehistoric	Crowl et al 2005	Not Evaluated
44ST0792	Lithic Scatter	Unknown prehistoric	Crowl et al 2005	Not Evaluated
44ST0793	Farmstead; Lithic Scatter	18 th -19 th c; unknown prehistoric	Crowl et al 2005	Not Evaluated
44ST0977	Warehouse/Dwelling	19 th -20 th c	Ezell 2007	Not Evaluated

*Highlighted sites are located within the project area.

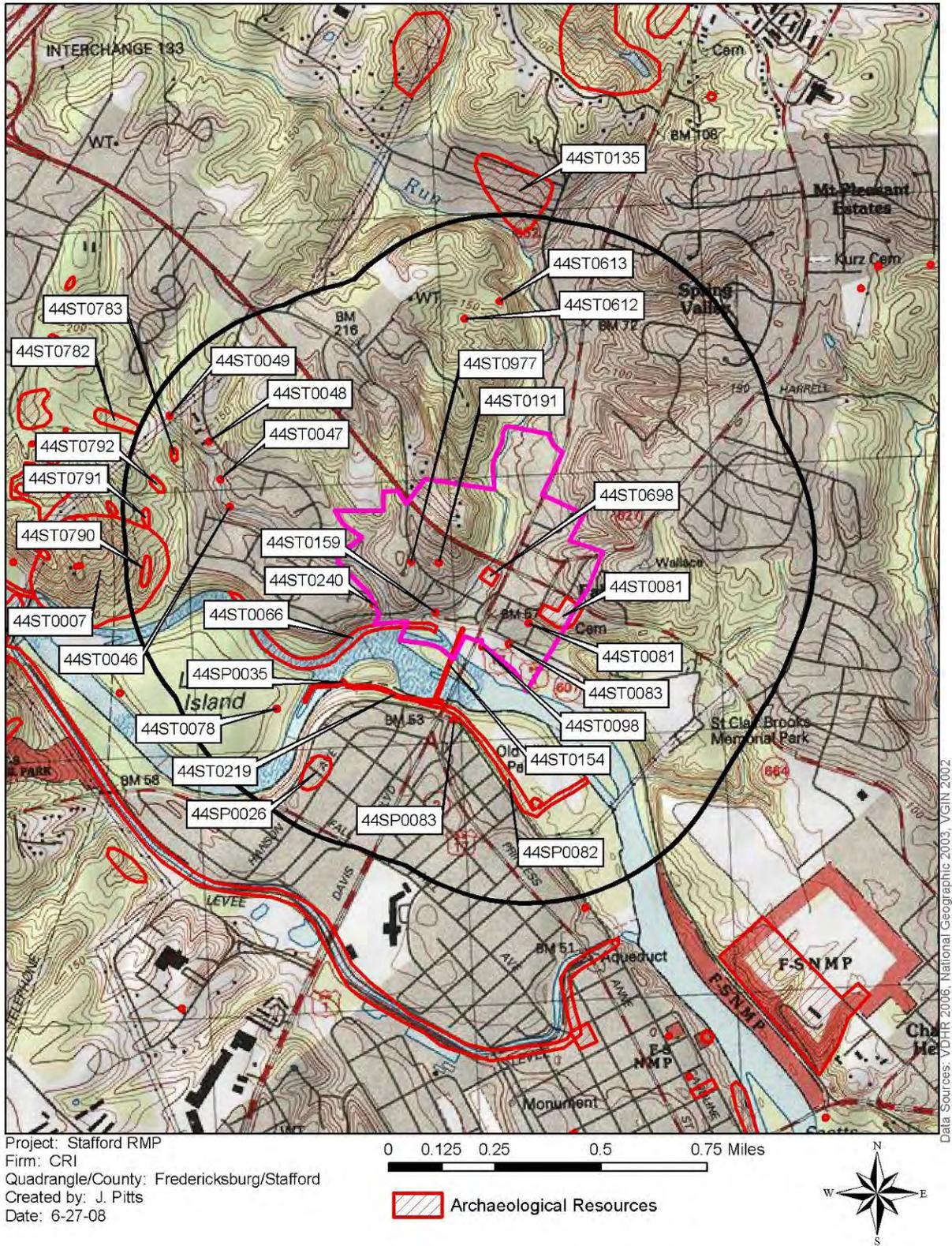


Figure 23. Detail of Fredericksburg, VA USGS Quadrangle, Depicting Previously Identified Archaeological Resources within a Half-Mile Radius of the Project Area.

Architectural Resources

One hundred and six previously identified architectural resources are located within the project area (Table 3, Figure 24). Of these, four are individually listed on the NRHP and include portions of the Village of Falmouth (VDHR #089-0067), Carlton Plantation (VHDR #089-0010), Belmont Plantation (VHDR #089-0022) and the Conway House (VHDR #089-0067-0031) at 305 King Street. The main dwelling at Carlton was constructed ca. 1785 for John Short, a prosperous Falmouth merchant. Carlton has been listed on the NRHP since 1973. The main dwelling at Belmont was constructed ca. 1761 for John Dixon of Williamsburg. In 1916 Belmont became the home and art studio of Gari Melchers, and currently serves as a museum of his life and his work, owned by the University of Mary Washington. Belmont has been listed on the NRHP since 1966 (VDHR Archives).

The project area contains a portion of the Falmouth Historic District (VDHR #089-0067), which has been listed on the NRHP since 1970. The boundaries of the district as originally defined form a rectangle, with each of the four original plantations of Falmouth (Belmont, Clearview, Chatham, and Carlton) serving as corners. As listed in 1970, the District contained 38 contributing resources; however, because the boundary is only geometrically defined more than 38 resources are actually included by default. In 2006 an amendment was submitted, redefining the boundaries of the District to the old riverside port town of Falmouth; and the sections of Falmouth that developed during the late nineteenth and into the early twentieth centuries which retain the integrity of the town's appearance during its period of significance (1728-1956). The District, as amended, contains 91 contributing resources including 83 buildings, 3 structures, and 6 sites. Seven resources within the District are considered non-contributing (VDHR Archives). The new district boundary, as defined in the 2006 amendment, is not formally approved (VDHR).

Seventy contributing and six non-contributing resources of the Falmouth Historic District listed in the 2006 NRHP update are located within the project area, of which one (the Conway House, 089-0067-0031) is individually listed on the NRHP and two (Falmouth Baptist Church [089-0067-0014] and Union Church and Cemetery [089-0067-0037]) are individually eligible for listing on the NRHP. The other 67 contributing resources within the project area are eligible for listing on the NRHP as contributing resources to the Falmouth Historic District (VDHR Archives).

The remaining 26 previously recorded architectural resources within the project area consist of 18 dwellings, two hotels/inns, one farm, one school, and two commercial buildings. Resource 089-5071 has been determined not eligible for listing on the NRHP; the remaining resources have not been evaluated for listing on the NRHP (VDHR Archives).

Table 3. Previously Identified Architectural Resources Within a Half-Mile Radius of the Falmouth Village Project Area.

VDHR #	Resource Type	Date	Reference	NRHP Recommendation
089-0005	Falmouth Canal	1776	Heite 1968	Contributing resource to the NRHP listed Falmouth Historic District
089-0006	Hunter's Iron Works	1750	VDHR 1973	NRHP Listed
089-0010	Carlton	1785	Johnson Jr. 1973	NRHP Listed
089-0012	Clearview	1770	Johnson Jr. 1958	NRHP Listed
089-0022	Belmont	1761	VHLC 1970	NRHP Listed
089-0049	Ingleside	1900	Traceries 1992	Not Evaluated
089-0050	House, Melcher Drive	1840	Traceries 1992	Not Evaluated
089-0051	T. Benton Gayle School	1925	Traceries 1992	Not Eligible
089-0067	Falmouth Historic District	1727	VHLC 1969	NRHP Listed
089-0067-0002	House, 125 West Cambridge Street	1900	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0004	Cavalry Pentecostal Church, 105 Washington Street	1850	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0006	Counting House, 103 Gordon Street	1840	Traceries 1992; Barile 2006	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0007	Customs House, 123 West Cambridge Street	1855	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0009	House, 107 Carter Street	1890	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0010	Basil Gordon House, 303 King Street	1830	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0011	Basil Gordon Warehouse, 104 West Cambridge Street	1880	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0012	Sam Gordon House, 100 Carter Street	1860	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0014	Falmouth Baptist Church, 100 Forbes Street	1891	VHLC 1969	Eligible for individual listing on the NRHP
089-0067-0016	House, 104 Cambridge Street	1720	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0021	House, 108 Washington Street	1870	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0022	House, 110 Washington Street	1870	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0023	House, 112 Washington Street	1880	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0024	House, 114 Washington Street	1850	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0025	House, 115 Washington Street	1880	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0026	Barnes House, 118 Washington Street	1790	Traceries 1992	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0028	Canal Keeper's House, 104 King Street	1800	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0029	Master Hobby School, Carter Street	1840	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District

Table 3. Previously Identified Architectural Resources Within a Half-Mile Radius of the Falmouth Village Project Area.

VDHR #	Resource Type	Date	Reference	NRHP
				Recommendation
089-0067-0030	Moncure House, 25 Butler Road	1840	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0031	Conway House, 305 King Street	1807	VHLC 1969	NRHP Listed
089-0067-0032	Old Post Office, 101 Washington Street	1900	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0034	Temperance Tavern, 121 Washington Street	1800	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0035	Tavern Keeper's House, 123 Washington Street	1845	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0036	House, 100 King Street	1980	Clarke 2005	Not Evaluated
089-0067-0037	Falmouth Union Church and Cemetery, Carter Street	1791	Clarke 2005	Eligible for individual listing on the NRHP
089-0067-0038	House, 106 King Street	1900	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0041	House, 18 Butler Road	1900	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0042	House, 20 Butler Road	1900	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0043	House, 22 Butler Road	1900	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0044	Bakers Heating and Plumbing, 24 Butler Road	1910	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0046	House, 104 Washington Street	1900	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0047	Stone Warehouse, 106 Washington Street	1850	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0048	House, 116 Washington Street	1900	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0049	House, 117 Washington Street	1930	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0050	House, 119 Washington Street	1930	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0051	House, 125 Washington Street	1930	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0055	House, 111 Carter Street	1955	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0056	House, 115 Carter Street	1950	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0058	House, 117 Carter Street	1940	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0059	House, 119 Carter Street	1950	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0061	108 Gordon Street	1950	Clark 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0063	West Cambridge Street			Demolished
089-0067-	K.C.'s Crab Shack, 110 W.	1920	Clarke 2005	Contributing resource to the NRHP

Table 3. Previously Identified Architectural Resources Within a Half-Mile Radius of the Falmouth Village Project Area.

VDHR #	Resource Type	Date	Reference	NRHP
				Recommendation
0064	Cambridge Street			listed Falmouth Historic District
089-0067-0068	House, 100 Cambridge Street	1920	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0072	House, 113 Forbes Street	1915	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0076	Washington Street Bridge	1929	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0077	Hill Cemetery, 115 Washington Street	Unknown Historic	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0082	U.S. 1/U.S. 17 Bridge	1949	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0083	Commercial Building, 7 Butler Road	1945	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0084	Stafford Christian Academy, 15 Butler Road	1950	Clarke 2005	Not Evaluated
089-0067-0085	Bear Trace Furniture Works, 30 Butler Road	1980	Clarke 2005	Not Evaluated
089-0067-0086	Dwelling, 31 Butler Road	1945	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0087	Dwelling, 33 Butler Road	1950	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0088	Dwelling, 34 Butler Road	1950	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0089	Dwelling, 38 Butler Road	1930	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0090	House, 204 Carter Street	1950	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0091	Dwelling, 206 Carter Street	1935	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0092	Falmouth Baptist Church, 302 Colonial Ave	1967	Clarke 2005	Not Evaluated
089-0067-0093	Dwelling, 303 Colonial Ave	1945	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0094	Dwelling, 305 Colonial Ave	1945	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0095	Dwelling, 307 Colonial Ave	1945	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0096	Dwelling, 309 Colonial Ave	1935	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0097	House, 310 Colonial Ave	1945	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0098	Dwelling, 311 Colonial Ave	1935	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0099	Dwelling, 313 Colonial Ave	1935	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0100	Dwelling, 314 Colonial Ave	1945	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0101	Dwelling, 316 Colonial Ave	1945	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District

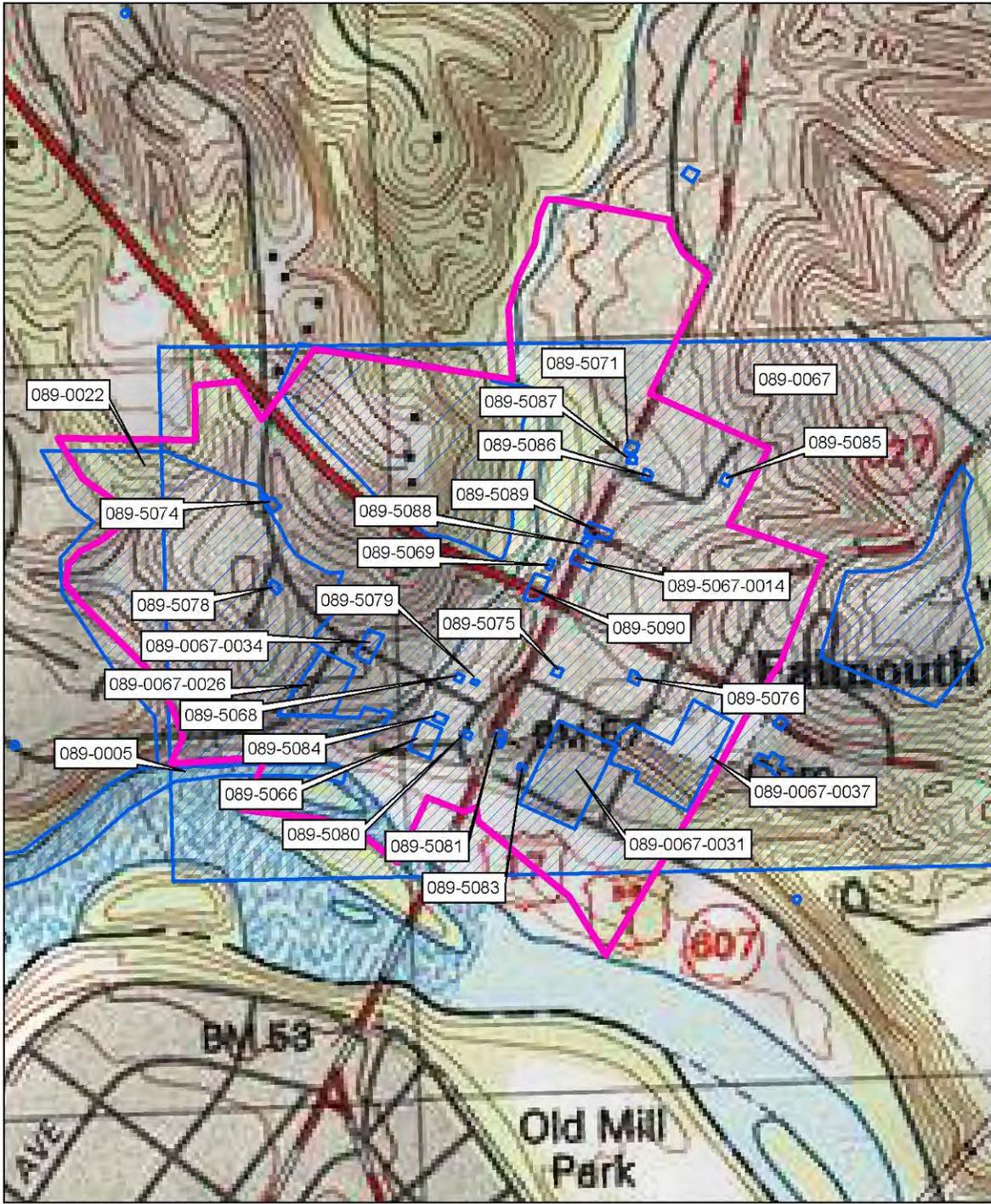
Table 3. Previously Identified Architectural Resources Within a Half-Mile Radius of the Falmouth Village Project Area.

VDHR #	Resource Type	Date	Reference	NRHP
				Recommendation
089-0067-0102	Dwelling, 103 Forbes Street	1930	Clarke 2005	Demolished
089-0067-0103	Dwelling, 104 Forbes Street	1980	Clarke 2005	Not Evaluated
089-0067-0104	Dwelling, 105 Forbes Street	1980	Clarke 2005	Not Evaluated
089-0067-0105	Dwelling, 106 Forbes Street	1955	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0106	Dwelling, 108 Forbes Street	1940	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0107	Dwelling, 109 Forbes Street	1930	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0108	Dwelling, 110 Forbes Street	1915	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0109	Dwelling, 111 Forbes Street	1940	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0110	Dwelling, 114 Forbes Street	1935	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0111	Dwelling, 115 Forbes Street	1935	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0112	Dwelling, 109 Gordon Street	1890	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0113	Tavern, 103 W. Cambridge Street	1800	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0067-0114	Dwelling, 112 W. Cambridge Street	1900	Clarke 2005	Contributing resource to the NRHP listed Falmouth Historic District
089-0101	Shelton House, Union Street	1700	Tracerics 1992	Not Evaluated
089-0366	House, 86 Truslow Road	1930	Tracerics 1992	Not Evaluated
089-0368	House, 78 Truslow Road	1930	Tracerics 1992	Not Evaluated
089-0370	House, 291/293 Route 1	1850	Tracerics 1992	Not Evaluated
089-5065	Brooks House, 77 Cambridge Street	1709	Not Available	Not Evaluated
089-5067	House, 307 Cambridge Street	1900	Not Available	Not Evaluated
089-5068	House, 203 W. Cambridge Street	1790	Not Available	Demolished
089-5069	House, 99 Cambridge Street	1910	Not Available	Demolished
089-5071	Thompson House, 122 Cambridge Street	1790	VDHR 1994	Not Eligible
089-5074	Roots House, 244 Washington Street	ca. 1870	Not Available	Not Evaluated
089-5075	House, 10 Prince (Butler Rd)	1880	Not Available	Demolished
089-5076	House, 16 Prince Street	1915	Not Available	Demolished
089-5078	Belmont Caretaker's Cottage, 225 Washington Street	1840	Not Available	Not Evaluated
089-5080	House, 203 Cambridge Street	1800	Not Available	Demolished
089-5081	House, 101 Gordon Street	Not Available	Not Available	Demolished
089-5082	Commercial Building, 105	ca. 1905	Not Available	Not Evaluated

Table 3. Previously Identified Architectural Resources Within a Half-Mile Radius of the Falmouth Village Project Area.

VDHR #	Resource Type	Date	Reference	NRHP Recommendation
	Cambridge Street			
089-5083	House, 104 Gordon Street	Not Available	Not Available	Demolished
089-5084	Basil Gordon Hotel, 116 W. Cambridge Street	1900	Tracerics 1992	Demolished
089-5085	Farm, 116 Cambridge Street	1860	Tracerics 1992	Not Evaluated
089-5086	House, 118 Cambridge Street	1870	Not Available	Not Evaluated
089-5087	Church, 120 Cambridge Street	1870	Not Available	Not Evaluated
089-5088	House, 108 Cambridge Street	1920	Not Available	Demolished
089-5089	Quality Appliance Company, 106 Cambridge Street	1910	Not Available	Not Evaluated
089-5090	Glover Enterprises, 97 Cambridge Street	1927	Not Available	Not Evaluated
089-5091	Falmouth Elementary School, 60 Butler Road	1924	Not Available	Not Evaluated
089-5092	House, 55 Butler Road	1925	Not Available	Not Evaluated
111-0148	Not Available	Not Available	Not Available	Not Available
111-5007	Carl's Frozen Custard Stand	1953	McRae 2005	NRHP Listed

*Highlighted sites are outside the project area.



Project: Stafford RMP
 Firm: CRI
 Quadrangle/County: Fredericksburg/Stafford
 Created by: J. Pitts
 Date: 6-27-08



 Architectural Resources

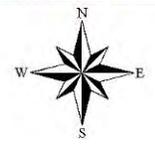


Figure 24. Detail of Fredericksburg, VA USGS Quadrangle, Depicting Previously Identified Architectural Resources within a Half-Mile Radius of the Project Area.

Field Reconnaissance

The field component of the cultural resources assessment consisted of a pedestrian survey of selected landforms and drainages within the study area. The property was carefully examined for archaeological site potential and the presence of possible surface or subsurface impacts or disturbances. Archaeologists evaluated the potential for sites based on such factors as vegetation, ground slope, soil type, extent of erosion, and landform configuration.

Predictive Model

A basic predictive model was created for the assessment of the project area. This model highlighted areas of high and low probability (Figures 44 and 45). Data from the soil survey of Stafford County was utilized to create a model of cultural resource potential based upon the distribution of specific soil types.

Reconnaissance-Level Architectural Survey

The architectural survey strategy included documenting all previously recorded extant resources within the project area and their associated outbuildings as well as newly recording all resources which had reached the age of 50 years or older since the previous survey. Architectural resources were inventoried, photographed and a sketch map drawn for each property. Due to accessibility issues, some resources were not able to be fully recorded. Each resource was considered for its architectural integrity as a contributing resource to the Falmouth Historic District or individually eligibility to the NRHP using the four National Register Evaluation Criteria.

Report Preparation

The results of the archival research, fieldwork, and laboratory analysis were synthesized and summarized within this report. The report describes the results of each of these facets of the survey research and is illustrated by selected maps and drawings. Appendix A contains all site forms for cultural resources documented during the survey.

V. ARCHAEOLOGICAL RESOURCES

No new archaeological resources were identified during the course of this assessment. However, as previously noted, there are ten previously identified archaeological sites within the project area, the majority of which are associated with the early industrial age of Falmouth and include the Falmouth Canal, the Falmouth Union Church and Cemetery, the remains of a warehouse and Late Woodland site at the Conway House, the Eagle Mill and associated raceway, the old Falmouth Bridge, three domestic sites, the Belmont Dam and archaeological remains associated with the Belmont Caretaker's House. Present conditions are briefly described below and illustrated through photographs for each of the ten previously recorded sites.

Site 44ST0066 Falmouth Canal

Site 44ST0066 represents the remains of the Falmouth Canal, which was constructed by John Richards ca. 1776. The canal originally began about a half-mile below Hunter's Ironworks, and hugged the steep bank of the Rappahannock before emptying into Falls Run and forming a large millpond (Johnson 1997). Stone retaining walls and wood sills related to millraces and the sluice gate are still visible within the southern end of the canal (Figures 25, 26 and 27).



Figure 25. View of Falmouth Canal (44ST0066) from the Mouth of Falls Run, Facing West.



Figure 26. View of Falmouth Canal (44ST0066), Facing North.



Figure 27. View of Wooden Sleeper across the Falmouth Canal (44ST0066). Note Brick Scatter in Foreground.

Site 44ST0081 Falmouth Union Church and Cemetery

Site 44ST0081 represents the Falmouth Union Church and Cemetery (Figure 28). Excavations around the 1818 church after its collapse revealed that it was built at least partially on top of the original eighteenth century church, which was a frame structure with a cruciform shape much like the Aquia Church (Eby 2007). Excavations also revealed that the foundation of the structure was shallow and thin, measuring only one course wide by three or four courses deep (VDHR Archives). Several notable persons are interred at the cemetery including James Hunter, the founder of Hunter's Iron Works, and John D. Baptist, a black man who served on the Virginia Fleet ship the *Dragon* during the Revolutionary War.



Figure 28. View of the Remains of the Falmouth Union Church (44ST0081), Facing West.



Figure 29. View of the Grave of James Hunter (Site 44ST0081).



Figure 30. View of the Grave of John D. Baptist (Site 44ST0081).

Site 44ST0083 at the Conway House

In the mid-1980s, Mary Washington College conducted an excavation within the property at 305 King Street, once the childhood home of Moncure Daniel Conway. Site 44ST0083, located in the southeastern corner of the property at the intersection of King Street and Rowser Road, yielded eighteenth to nineteenth century artifacts as well as a Late Woodland component. The artifact assemblages appeared to represent an industrial warehouse, and a Native American village (VDHR Archives). An illustration of the property ca.1860 depicts an outbuilding in this location (Figure 31).



Figure 31. The Conway House, ca. 1860, depicting an outbuilding in the approximate location of Site 44ST0083 (illustration in *Autobiography: Memories and Experiences of Moncure Daniel Conway*, 1904).



Figure 32. View of Present Conditions at Site 44ST0083, Facing North.

Site 44ST0159 Eagle Mill and Raceway

Also in the 1980s, volunteers from the Archaeological Society of Virginia conducted surveys related to the industrial heritage of Falmouth. During the course of the surveys, the remains of the Eagle Mill and raceway were identified on the west bank of the Falmouth Canal (Site 44ST0159; Figures 33 and 34). The Eagle Mill was built in 1812 on the site of the earlier Richard's Mill, which was constructed in 1793 and burned in 1808 (Johnson 1997).



Figure 33. View of the Eagle Mill Site (44ST0159), Facing Southwest.

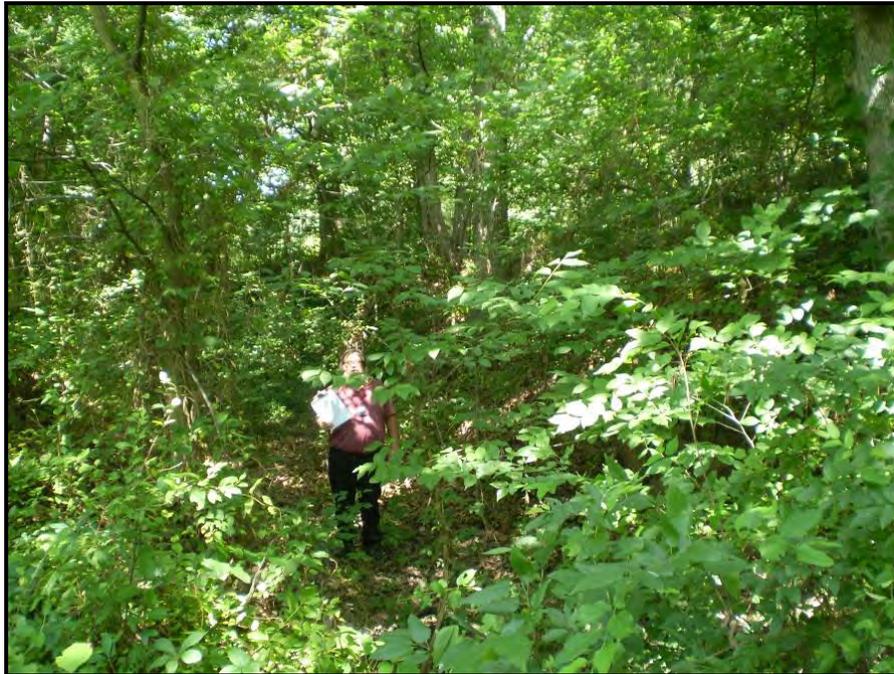


Figure 34. View of Eagle Mill Raceway (Site 44ST0159), Facing West.

Site 44ST0154 Old Falmouth Bridge

The remains of the Old Falmouth Bridge (Site 44ST0154) were also identified during these surveys, in the form of an abutment at the foot of West Cambridge Street and a concrete pad for a pier (VDHR Archives; Figures 35, 36 and 37).



Figure 35. View of the Old Falmouth Bridge Abutment (Site 44ST0154), Facing Southeast.



Figure 36. View of Remains of the Old Falmouth Bridge (Site 44ST0154), Facing Northeast.



Figure 37. View of Remains of the Old Falmouth Bridge (Site 44ST0154), Facing Southwest.

Site 44ST0098 Domestic Site

Site 44ST0098 was identified by the ASV in 1987, as a course of bricks and historic artifacts eroding out of a dirt road. The artifact assemblage was domestic in nature and dated to the late eighteenth to early nineteenth century (VDHR Archives). At present, the site area is severely overgrown, and no traces of the brick or other artifacts are visible (Figure 38).



Figure 38. View of Present Conditions at Site 44ST0098, facing Southwest.

Site 44ST0191 Domestic Site

In 1991 a domestic site was identified on the Belmont property as a scattered stone foundation measuring 8 feet by 16 feet with a brick chimney fall. The only artifact noted was a Civil War brass eagle button (VDHR Archives). At present, the site area is severely overgrown with tall grasses, saplings and larger deciduous trees (Figure 39).



Figure 39. View of Present Conditions at Site 44ST0191, Facing West.

Site 44ST0240 Belmont Dam

Another survey by Mary Washington College in 1994 for the Embrey Dam Assessment Project identified a dam on a stream at the west end of the Belmont property. This dam is accessible via the Belmont Nature Trail. Presently the dam is partially collapsed with several young trees growing out of the embankment (Figures 40 and 41).



Figure 40. View of the Belmont Dam (Site 44ST0240), Facing Southwest.



Figure 41. View of the Belmont Dam (Site 44ST0240), Facing Northwest.

Site 44ST0698 Domestic Site

In 2005, VDOT conducted a survey of the area at the southwest corner of Routes 1 and 17 in an attempt to locate the foundation of a complex of buildings depicted on the 1927 Sanborn map. No foundation was located and portions of the project area were disturbed, however a number of early nineteenth century domestic artifacts were recovered and the area was designated Site 44ST0698 (VDHR Archives). Presently the site is covered with asphalt with surrounding grass areas (Figure 42).



Figure 42. View of Present Site Conditions at Site 44ST0698, facing North.

Site 44ST0977 Belmont Caretaker's Cottage

The area surrounding the Belmont Caretaker's Cottage (VDHR #089-5078) was the subject of an excavation by ECS of Fredericksburg in 2007 in an effort to determine the original purpose of the structure. It was determined that the building was originally constructed as a warehouse or other storage facility in the early nineteenth century, and expanded as a dwelling in the twentieth century (VDHR Archives; Figure 43).



Figure 43. View of Present Site Conditions at Site 44ST0977, Facing Southeast.

Archaeological Probability

A predictive model for areas of high probability for both historic and prehistoric archaeological resources was developed using information such as soils, landform, proximity to water, and historic maps and descriptions.

The project area consists of 169.5 acres. Of these, 47.48 acres have been determined to have a high probability for prehistoric archaeological resources, based on slope, soil type, and proximity to water. Nearly all of the project area has a high probability for historic resources. The largest section of high probability area within the project area is on a north-south trending finger ridge, the western edge of which is followed by U.S. Route 1.

While the construction and maintenance of U.S. Route 1, as well as the construction of commercial and residential developments alongside the roadway, has had a significant impact on the area it is possible that intact prehistoric and historic cultural deposits exist under the roadways, under driveways and parking lots, and within house yards. Pavement serves to preserve the deposits below it, provided that the ground below was not significantly disturbed prior to paving. Additionally, most house lots are not subject to extensive ground disturbance, except for the footprint of the house itself, and the surrounding areas may yield intact cultural deposits. A significant example of this is the Lee Street Site in Alexandria, Virginia, where the remains of late eighteenth century wharves, an early nineteenth century bakery and tavern, a Civil War support complex for U.S. Military Hospitals, and artifacts relating to post-war occupation of the site were recovered from underneath a parking lot on Lee Street in 1997 (Alexandria Archaeology 1999). Local examples of this would be Site 44ST0698, an early nineteenth century domestic site located in a parking area at the southwest corner of Routes 1 and 17 in Falmouth and Site 44ST0083, an eighteenth century domestic/warehouse site with a Late Woodland period prehistoric component located in the yard of the house at 305 King Street (VDHR Archives).

Additionally, Falmouth Beach Park and River Road Park have a high probability for containing resources related to the early development of Falmouth, such as the docks, wharves, ferry houses, and warehouses. The empty lots on Washington and West Cambridge Streets have a high probability for yielding information on the various factories, warehouses, stores, and dwellings that occupied those streets from the 1720s to the early 21st century, as do the vacant lots on Gordon and Carter Streets and Butler and Rowser Roads. Remains of the 1675 fort may still be present within the Falmouth Union Church and Cemetery grounds. Areas along the riverfront to the west of Falls Run have a high probability for sites related to flour and grist mills.

The large number of privies that may still present behind many homes in Falmouth are also valuable archaeological resources. Throughout the eighteenth and nineteenth centuries, privies served not only as repositories for human waste but for household refuse as well. Artifacts such as broken dishes, seeds, and animal bones are often found in privies, and can provide insight into the dietary habits of Falmouth residents during the various periods of Falmouth history. Clothing items such as shoes, fabric, and sewing implements are also often preserved in privies, and can provide information on the tastes and social status of the privy owners (Langford 1997).

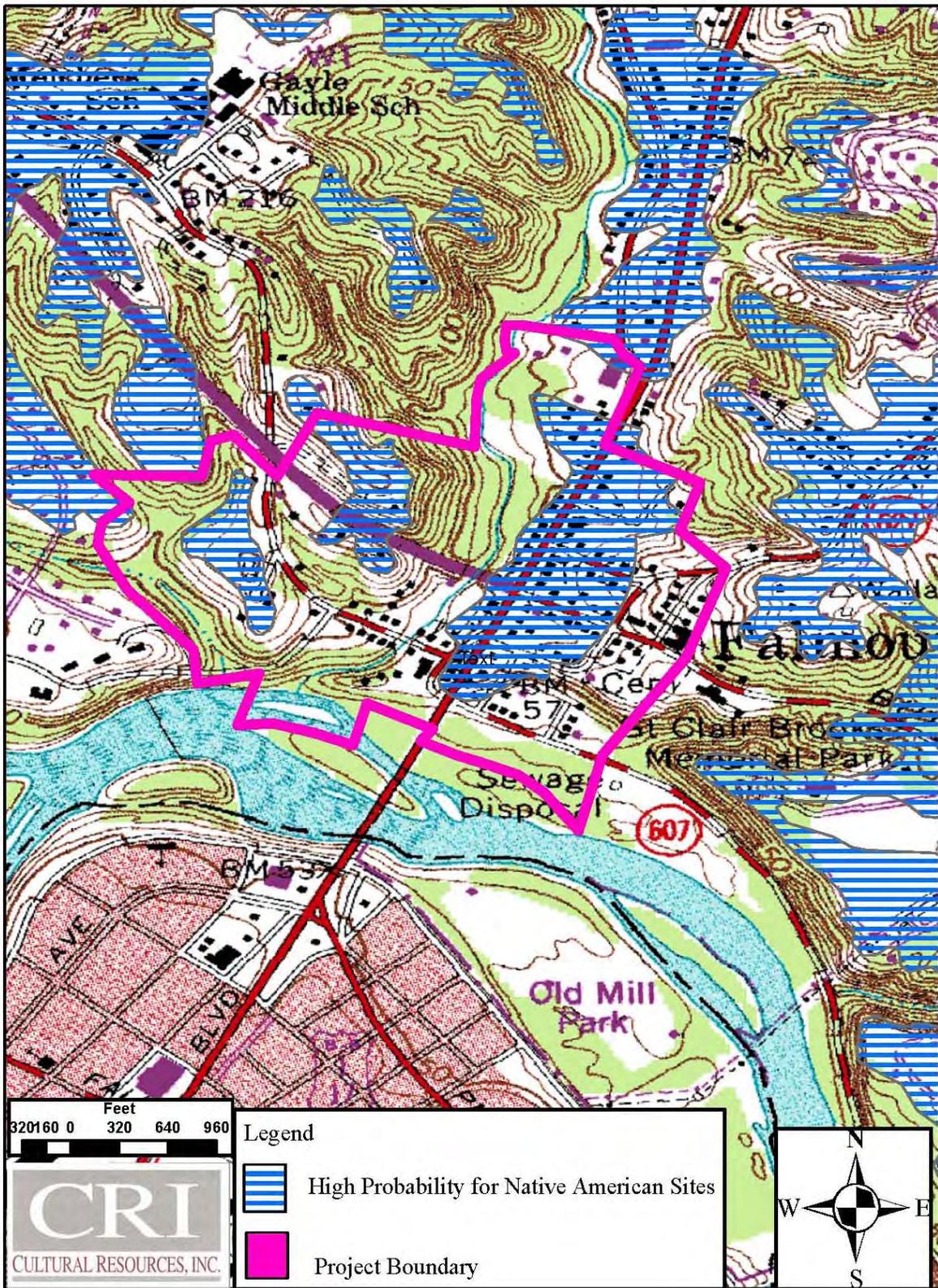


Figure 44. Areas of High Probability for Prehistoric Resources within the Project Area.

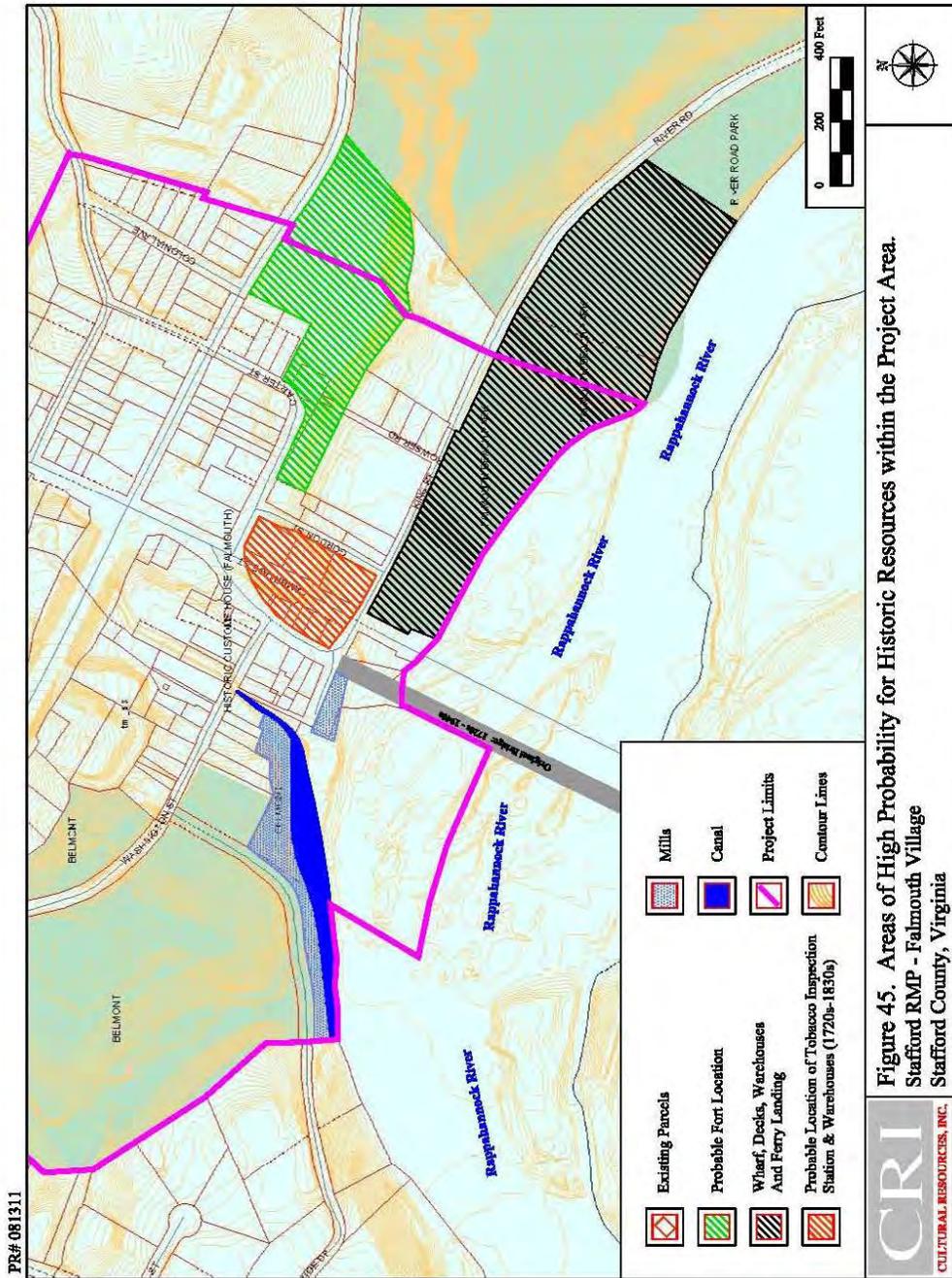


Figure 45. Areas of High Probability for Historic Resources within the Project Area.
 Stafford RMP - Falmouth Village
 Stafford County, Virginia



Figure 45. Areas of High Probability for Historic Resources within the Project Area.

VI. ARCHITECTURAL RESOURCES

The National Register boundaries for the 1970 nomination listing for the Village of Falmouth were drawn as a rectangle, common for the time (Figure 47). At which time, the district included encompassed the streets of Cambridge north to #422 and south to the water, to and including the northwest and southwest corners of Washington Street and Warrenton Road, the properties of Belmont, Clearview and Carlton, the block of King Street bounded by Cambridge and Carter and out Butler Road to include the Falmouth Union Church and Cemetery. Although the square is larger on the USGS Quadrangle (see map below) specific properties were included in the nomination, but not all inclusive.

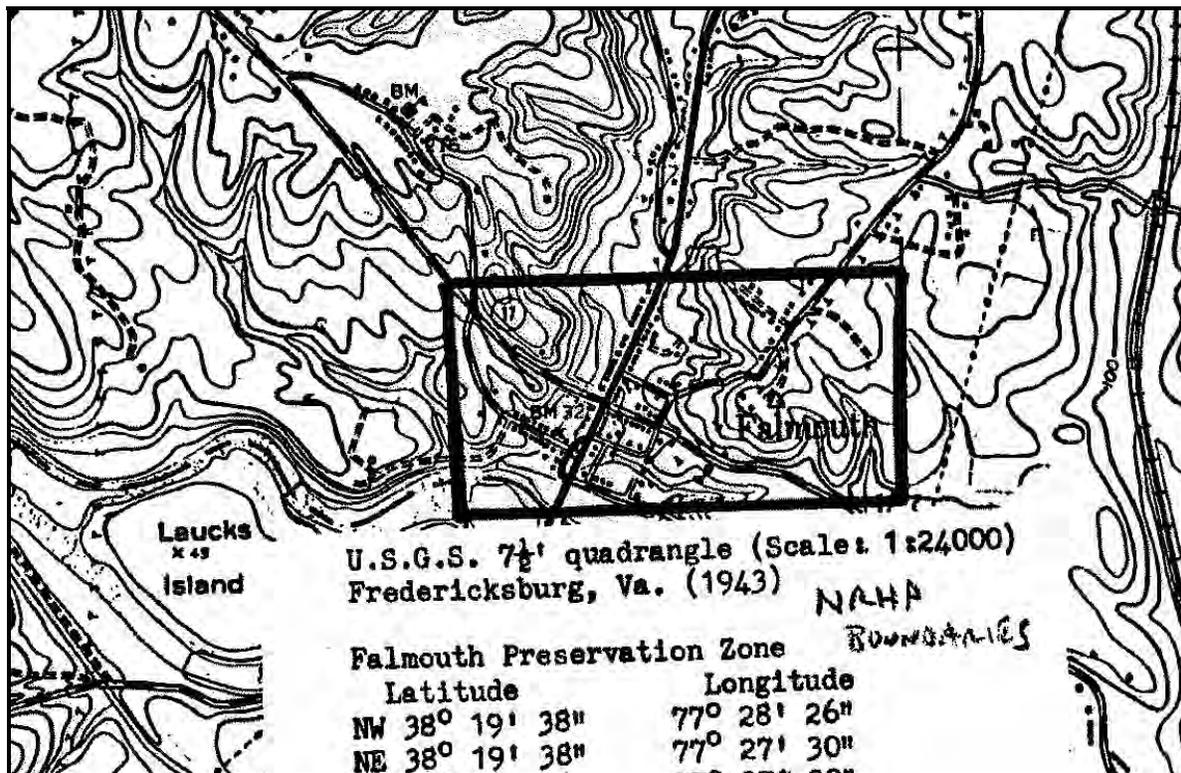


Figure 46. Boundary of the Falmouth Historic District as Delineated in the 1970 NRHP Nomination (Falmouth Historic District Nomination Form, 1970).

Most of the resources surveyed during the present effort were included in that boundary delineation. Several newly recorded resources would fall within those bounds because the buildings now meet the age requirement; however, the historic district boundary is under contention. Because of growing concern for the historic nature of Falmouth, in 2001 application was made to the National Trust to have the village placed on the Trust's *List of America's Most Endangered Historic Places*. In 2006, the district was re-surveyed in an effort to further define the boundary (Figure XX). The boundary in the NRHP update more closely defines the extant historic architectural, as well as archaeological, resources present within the Village and is similar to the map accompanying the Historic District's Virginia Landmarks Register form.

Conversations with the Virginia Department of Transportation (VDOT) in 2006, proposed a third iteration of the extent of the district (Figure XX). At present, neither 2006 historic district boundaries have been approved. The County of Stafford has a Historic District Overlay and has created an Architectural Review Board, through a zoning ordinance, which is empowered by a Local Historic District designation. As part of the *Recommendations* section of this report, CRI has included, based on the present condition of the resources within the district and their cohesiveness to one another, a map outlining the contributing resources to date. The ARB should be consulted and approve the final boundary for the Falmouth Historic District.

A total of 95 previously identified and 13 newly identified architectural resources were documented during this survey (Table 4). These resources are described in four time periods were are related to the history and development of Falmouth and include the Founding of Falmouth through the Civil War (1720-1860; Figure 48), the end of the Civil War to World War I (1865 to 1919; Figure 105), World War I up to the beginning of World War II (1920 to 1940; Figure 135) and end of World War II to 1960 (end date for historic consideration; Figure 178). Analysis for each resource is included in the description of that resource in terms of location within the various historic district boundaries including an updated status of NRHP eligibility based on the four aforementioned National Register evaluation criteria.

VDHR #	Resource	Date	NRHP Recommendation
089-0067-0115	Store, Cambridge Street	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District
089-0067-0116	House, 128 Cambridge Street	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District
089-0067-0117	House, 133 Cambridge Street	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District
089-0067-0118	House, 139 Cambridge Street	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District
089-0067-0119	House, 141 Cambridge Street	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District
089-0067-0120	House, 143 Cambridge Street	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District
089-0067-0121	House, 147 Cambridge Street	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District
089-0067-0122	Store, Cambridge Street	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District
089-0067-0123	House, 157 Cambridge Street	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District
089-0067-0124	House, 104 Rowser Road	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District
089-5221	House, 145 Cambridge Street	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District
089-5222	House, 153 Cambridge Street	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District
089-5223	House, 153 Cambridge Street	Mid-20 th c.	Not eligible for inclusion to the Falmouth NR Historic District

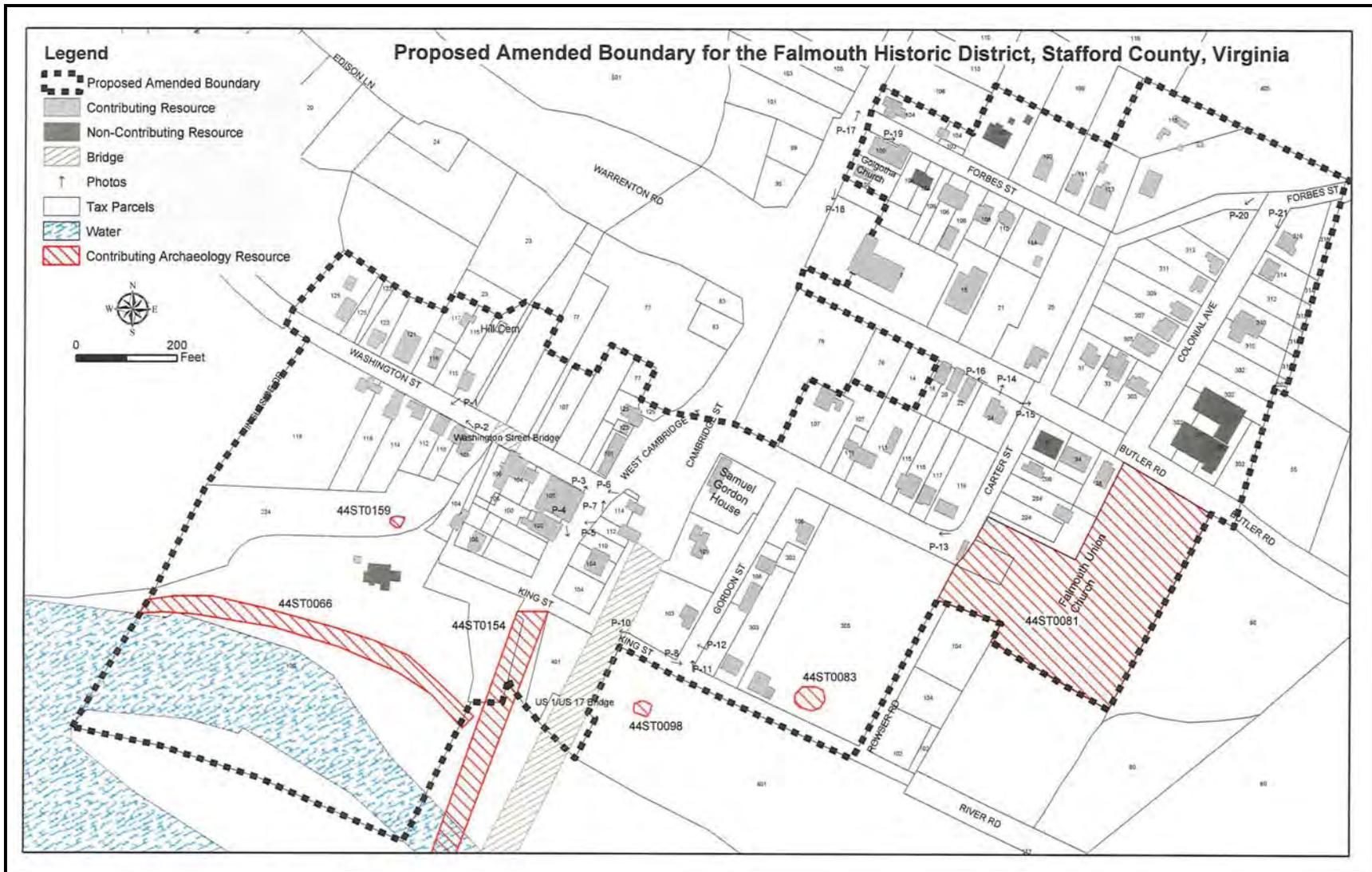


Figure 47. 2006 NRHP Historic District Boundary Amendment.

1720-1860: Founding to the Civil War

The buildings that fall into this date range reflect the Colonial roots of the Village of Falmouth as well as its early to mid-nineteenth century development. As early and rare surviving examples of architecture, the buildings are important reminders of that early history and should remain within any proposed historic district boundary update. Buildings constructed during this time period were generally brick, though several frame examples are extant. Many retain their historic architectural integrity. Those that have been altered tended to be frame dwellings. In spite of these alterations these buildings; however, still lend integrity to the district as a whole. It is during this time period that the three individually listed NRHP dwellings were constructed; Belmont (VDHR #089-0022), Carlton (VDHR #089-0010) and the Conway House (VDHR#089-0067-0031). Three other buildings may be potentially eligible for listing on the NRHP and include Barnes House (VDHR #089-0067-0026), Temperance Tavern (VDHR #089-0067-0034) and the Customs House/Magistrate's Office (VDHR #089-0067-0007). The remaining buildings constructed during this time should retain their status as contributing resources to the Falmouth Historic District.

Belmont (VDHR #089-0022), 1761

Belmont Plantation (VDHR #089-0022) was individually listed on the NRHP in 1973 and is also a contributing resource to the Falmouth Historic District as described in the original 1970 NRHP nomination (VDHR #089-0067). The main dwelling and the auxiliary buildings on the property are well preserved and reflect a long history of use.

The land on which Belmont sits was originally granted to Thomas Vicaris in 1678 for transporting 27 settlers to Virginia. By 1727 the land was owned by William Todd, whose widow sold it to John Dixon in 1748. After being forced out of Falmouth by the board of Trustees, Dixon sold the tract that includes Belmont to John Richards in 1775. Richards subsequently built the Falmouth Canal and several mills on the property (Eby 2007, Johnson 1997).

Because the original deed of ownership is lost, the year in which the Georgian-style frame house was built and the identity of its first owner is not precisely known. But based on the existing physical evidence, the original plan of the house consisted of a first and second floor side passage and four rooms to the north dating to the 1790s. According to surviving documents, the Horner and Voss families owned the property between 1785 and 1804, and one of those two families must have been responsible for the earliest section of the current structure (University of Mary Washington [UMW] 2008).

In 1807, Thomas Knox bought the house for his mother, Susannah Fitzhugh Knox. He purchased the first insurance on the house through the Mutual Assurance Company of Virginia. Nearly two hundred years later, that policy is still in effect. When Susannah Knox died in 1823, a public notice announcing the sale of the property is the first known reference to the name "Belmont." The buyer was Joseph B. Ficklen, of Culpeper. By 1860 Ficklen was a wealthy miller and banker, owner of sizable real estate, and holder of 27 slaves, most of who were employed at his mills (Johnson 1997, UMW 2008).

At Belmont, Ficklen was responsible for most of the house's subsequent structural evolution. He raised a family of six children, which might explain the sudden growth of the house sometime prior to 1850. Two first floor parlors were added south of the main hall and two bedrooms constitute the second floor of the addition. Further improvements followed; windows were enlarged and the east and west porches were constructed. Eventually a kitchen and other rooms were added to the north end of the house (UMW 2008).

During the Civil War, the Army of the Potomac placed batteries on either side of the house, however there is no evidence that any fighting occurred on the property. Ficklen, a Union sympathizer, and his family continuously occupied the property, benefiting from the protection of U.S. Army General John Gibbon, whom they befriended while the brigade-commander was stationed in Falmouth (UMW 2008).

In 1916, when the property passed from the Ficklens to Gari and Corinne Melchers, the house and its surrounding twenty-five acres were considerably run-down. A hexagonal sun porch was constructed in 1916 at the extreme south end of the house, in line with the north-south layout of the lawn. Two baths were built above to accommodate the Ficklen-era bedrooms. Melchers

added a second story to the west porch, a roof cupola with an attic ventilator and bell, a large attic window, a kitchen porch and a third floor on the north or service end of the house (UMW 2008).

Outbuildings associated with Belmont include barns, a stable, a smokehouse, a springhouse, a gazebo, garages, and Gari Melcher's studio, which is reportedly the Eagle Mill, relocated and rebuilt stone by stone (VDHR Archives). The majority of the outbuildings appear to date to the late eighteenth-early nineteenth century and consist of frame buildings resting on stone foundations with wood shake roofs (Figures 50 through 57). One of the earliest buildings on the property is a barn, stable, or industrial building that has been converted to a garage. The building is constructed of semi-coursed stone with quoins and a slate shingle roof (Figure 50).



Figure 49. View of Belmont (VDHR #089-0022), East Elevation.



Figure 50. View of Belmont (VDHR #089-0022), West Elevation.



Figure 51. View of Garage at Belmont (VDHR #069-0022), East Elevation.



Figure 52. View of Converted Barn at Belmont (VDHR #069-0022), East Elevation.



Figure 53. View of Stable at Belmont (VDHR #069-0022), Facing Northwest.



Figure 54. View of Springhouse and Smokehouse at Belmont (VDHR #069-0022), Facing West.



Figure 55.. View of Studio at Belmont ((VDHR #069-0022; Eagle Mill), East Elevation.



Figure 56. View of Studio at Belmont ((VDHR #069-0022; Eagle Mill), Facing Southwest.



Figure 57. View of Gazebo at Belmont (VDHR #069-0022), North Elevation.



Figure 58. View of Cow Barn at Belmont (VDHR #069-0022), North Elevation.

Falmouth Canal (VDHR #089-0005), 1776

The Falmouth Canal was built ca. 1776 by John Richards. The canal began one half-mile below Hunter's Ironworks and hugged the north bank of the Rappahannock River until it emptied into Falls Run, forming a large millpond. The canal was used well into the nineteenth century, providing water power to four mills built along its banks (Johnson 1997).



Figure 59. View of the Falmouth Canal (VDHR #089-0005), Facing North.

Carlton (VDHR #089-0010), 1785

Carlton is located on a hilltop at the northwest corner of the intersection of US Routes 1 and 17. The Georgian-style house is a two-story, frame structure built above a stone-lined English basement. The entire structure retains its weatherboard siding, along with two exterior end brick chimneys and a hipped-roof. A one-story, shed roof addition extends from the northern elevation. Windows are nine-over-nine-light double hung wood sash throughout. The single-bay front porch has a gable roof supported by Tuscan columns, with a multi-light transom over the front door.

The land on which Carlton stands was part of the tract sold by John Dixon to John Richards in 1775, which he later deeded to his son William. William in turn sold the land to John Short sometime between 1785 and 1794. The property was insured in 1786 for “five buildings on the hill near the town of Falmouth consisting of a dwelling house, dairy, kitchen, meathouse, and stable” (in Eby 2007). The kitchen, dairy, and smokehouse are still standing and have been restored by the current owners, Dr. and Mrs. E. Boyd Graves.

In 1837 the property was purchased by John O’Bannon. At the time the plantation consisted of 4,000 acres and was worked by slaves. O’Bannon also provided slave labor to the town of Falmouth. During the Civil War, Carlton was not subject to occupation by the Army of the Potomac, nor was it involved in any fighting (Eby 2007).

Carlton (VDHR #089-0010) is currently listed as an individual property on the NRHP as well as a contributing resource to the Falmouth Historic District as described in the original 1970 NRHP nomination (VDHR #089-0067).



Figure 60. View of Carlton (VDHR #089-0010), Northwest Elevation.



Figure 61. View of Carlton (VDHR #089-0010), Rear Elevation.



Figure 62. View of Smokehouse at Carlton (VHDR #089-0010) East Elevation.



Figure 63. View of Kitchen/Quarter at Carlton (VDHR #089-0010), Facing Northeast.



Figure 64. View of Dairy at Carlton (VDHR #089-0010) West Elevation.

Stone Warehouse/Bakery (VDHR #089-0067-0047), 106 Washington Street, 1850

The stone warehouse/bakery, now dwelling at 106 Washington Street is an example of a one-and-a-half-story industrial building constructed with finished Ashlar blocks. The building is constructed well and reflects the style of smaller scale non-residential buildings of the mid-nineteenth century (Figure 64). The original portion of the structure is oriented east-west, overlooking the canal, and features a slightly flared gabled roof and an elevated field stone foundation with a bulkhead entrance on the west elevation. Two gabled dormers project from the west elevation of roof. Additions were made to the building prior to 1912 and 1919 (Figure 20) including the ell with a stepped parapet end wall. The ell has been heavily altered with the addition of modern windows on the walls and the lower slope of the gambrel roof.

This building has been significantly altered in sections and therefore is not individually eligible for listing on the NRHP. The warehouse; however, is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and has been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 65. View of the Stone Warehouse (VDHR #089-0067-0047), 106 Washington Street, Facing Southeast.



Figure 66. View of the Stone Warehouse (VHDR #089-0067-0047), 106 Washington Street, North Elevation.

House (VDHR #089-0067-0004), 107 Washington Street, ca. 1850

The building at 107 Washington Street, presently a dwelling, is a two-story framed example of what appears to have been a small scale commercial enterprise located in the central portion of the Village of Falmouth (Figures 66 and 67). The structure retains its weatherboard siding, fieldstone foundation and later wood and glass entry door. The original building was constructed as a front gable structure and added onto at a later date creating a saltbox-style roof with boxed cornices. The large exterior end brick chimney supported on a field stone base is located on the south elevation. Though the windows are vinyl replacements they reflect the style of window of the building's construction era and do not detract from the overall historic appearance of the structure.

This building is a good example of a small scale commercial establishment. Though slightly altered, does retain its historic architectural integrity overall and is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 67. View of 107 Washington Street (VDHR #089-0067-0004), Facing Northwest.



Figure 68. View of 107 Washington Street (VDHR #089-0067-0004), North Elevation.

House (VDHR #089-0067-0024), 114 Washington Street, 1850

The dwelling at 114 Washington Street is a Greek Revival era two-story house which retains many of its historic architectural features including weatherboard siding, stone foundation and windows (Figure 69). The original portion of the building is three-bays wide, delineated by corner boards. The two-story, two-bay addition on the west end of the building was designed in a similar manner suggesting the dwelling was added onto shortly after its original construction. The three-bay shed roof porch project located on the front façade of the original section appears to have been added at a later date and is constructed with plain square wood posts and wood railing.

This building is a good example of a mid-nineteenth century dwelling constructed during an era of Falmouth's history, which has been minimally altered. The building retains its historic architectural integrity overall and is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 69. View of 114 Washington Street (089-0067-0024), Facing Southeast.

Barnes House (VDHR #089-0067-0026), 118 Washington Street, 1790

The late eighteenth century Colonial-style Barnes House is an unusual survivor within the Village of Falmouth. Currently undergoing stabilization in hopes of restoration, the two-and-a-half-story wood frame dwelling is rare in its gambrel-roofed construction (Figure 70). The placement of windows in relation to the entry door is asymmetrical suggesting the house may have been added onto at some point. The stone foundation is raised on the east side and banked into the slope of the land on the west. The raised portion is fully accessible by a wood door, providing usable cellar space. On the east wall of the foundation is a louvered vent suggesting this section of the house may have been used for a root cellar.

The house features an asphalt-shingled gambrel roof with three dormers and two exterior end brick chimneys and still retains its weatherboard siding. The four windows located on the primary façade contain wood sashes, currently boarded-up, and a double front door with eight light transoms. The windows are asymmetrical as mentioned before, with two larger windows to the right of the front door and two smaller windows to the left. Four windows are present on the gable ends, three of which are boarded-up. The visible window is a six-over-six-light double hung wood sash window. The need for more usable space facilitated the construction of a shed addition on the southern elevation of the house that contains the kitchen.

The Barnes House was originally associated with the Belmont property (VHDR #089-0022), and was purchased from Belmont owner Joseph B. Ficklen in 1850 by Harrison B. Barnes. The Barnes family retained ownership of the property until 1920, when it was sold to Gari and Corinne Melchers (APVA 2006). The house, reportedly used as a guest house by the Melchers,

was included in the Belmont parcel gifted to Virginia in 1942 after the death of the Melchers and placed under the stewardship of what was then Mary Washington College. The vacant house began to deteriorate and received a protective easement from VDHR prohibiting demolition in 1993. Geoffrey R. Nesbitt purchased the property from the State with the an agreement to restore the house, but after 12 years and no progress the property was sold to Jay Holloway, with an agreement to restore the house remaining in place (*Fredericksburg Free-Lance Star* 10 February 2006 and 23 June 2006).

This building is a good and rare example of a late eighteenth century dwelling that has been minimally altered and retains much of its historic architectural integrity. A protective easement was placed on the building and associated property in 1993. The building is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. ***In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*** The building, as a rare surviving example from its time period, may be individually eligible to the NRHP under Criterion C for Architecture. The building and its surrounding landscape retain much of its design, setting and historic materials.



Figure 70. View of the Barnes House (VDHR #089-0067-0026), 118 Washington Street, North.



Figure 71. View of the Barnes House (VDHR #089-0067-0026), 118 Washington Street, East Elevation.

Temperance Tavern (VDHR #089-0067-0034), 121 Washington Street, ca.1829

The Tavern was originally constructed by William Brooke for use as a warehouse ca. 1829, and was later converted to a tavern or ordinary and used as a hotel by teamsters, sailors, and other travelers during the 1830's (Figure 71; VDHR Archives). The building is situated close to the road, typical for the building's era of construction. The brick building retains much of its early to mid-nineteenth century architectural features including corbelled cornices, curved brick lintels over the wood six-over-nine-light double hung windows and slate shingled roof. Exterior chimneys on the north elevation and smaller east elevation, both with corbelled tops, appear original to the building. Often the building flooded during the early to mid-nineteenth century and ca.1840 the ground floor and the area around the building was covered with two feet of river sand to absorb the water (Eby 1997). The stone lined drainage adjacent to the structure most likely relates to efforts to try to keep water out of the building.

This building is a good and rare example of an early to mid-nineteenth century commercial architecture that has been minimally altered and retains much of its historic architectural integrity. The building is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District. The building, as a rare surviving example from its time period, may be individually eligible to the NRHP under Criterion A for Broad Patterns of History in the Area of Commerce/Trade and under Criterion C for Architecture.* The building and its surrounding landscape retain much of its design, setting and historic materials.



Figure 72. View of Temperance Tavern (VHDR #089-0067-0034), 121 Washington Street, Facing Northwest.

Tavern Keeper's House (VDHR #089-0067-0035), 123 Washington Street, 1845

The dwelling is a one-and-a-half-story single room plan attached to a two-story side gable addition. A gravel drive extends the length of the eastern edge of the property, separated from the yard by a retaining wall (Figures 73 and 74). The original portion of the structure has a front gable roof with a dormer in the west elevation, and rests on a stone foundation. A one-story shed roof addition extends from the west elevation. The structure is clad in weatherboards with wood corner boards. The southeast end of the two-story addition has its weatherboards attached in a diagonal pattern. This addition rests on a poured concrete foundation, which is covered in brick veneer. The building retains many of its original four-over-four and six-over-six double hung wood sash windows.

This building has been significantly altered in sections and therefore is not individually eligible for listing on the NRHP. The dwelling; however, is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and has been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 73. View of the Tavern Keeper's House (VHDR #089-0067-0035), 123 Washington Street, Facing Northeast.



Figure 74. View of the Tavern Keeper's House (VDHR #089-0067-0035) 123 Washington Street, Facing Northwest.

Belmont Caretaker's Cottage (VDHR #089-5078), 225 Washington Street, 1840

The Caretaker's Cottage at Belmont is an architecturally intact building, which retains such features as weatherboard siding, stone foundation, six-over-six and four-over-four-light wood double hung sash windows and entry porch with Tuscan-style support columns (Figure 75). Shed roof dormers are located on both roof slopes and were constructed to create more usable space in the upper portion of the dwelling.

This dwelling is a good example of a mid-nineteenth century caretaker's house constructed during the earlier history of Falmouth. Many such buildings do not survive or are severely altered. This building; however, retains its historic architectural integrity overall, with minimal alterations, and is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in the 2006 NRHP nomination update, but has in the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District because of its architectural integrity, but also because of its association with Belmont.*



Figure 75. View of Belmont Caretaker's Cottage (VHDR #089-5078), 225 Washington Street, Facing East.

Amy's Café (VHDR # 089-0067-0113), 103 West Cambridge Street, ca.1800

The commercial building that now houses Amy's Café is a large two-story brick Federal-style structure (Figure 76). In the early twentieth century, according to the Sanborn Insurance Map of 1912, the building was divided with a dwelling in the south half of the building and a grocery in the north. The brick is laid in a five-course American bond pattern with paired brick chimneys in either end of the building. Corbelled brick work was utilized at the top of each stack. Areas of the lower portion of the building have been re-pointed. Perhaps the most dramatic change to the building has been the addition of large multi-light commercial style windows and dual entrances on the first floor façade. Relatively new the alteration was probably made to accommodate the restaurant. The fenestration on the second floor is intact in terms of the scale and size of the window openings, which are original; however, the bottom sash is only a single-light, where it was very common to have six-over-nine light windows in an opening of this size. An enclosed patio with a shed roof extends from the southern elevation (Figure 77). The west elevation includes two additions. The first is a two-story ell with a shed roof behind the northern half of the building, with an additional one-story ell behind the south half.

This building has been significantly altered in sections and therefore is not individually eligible for listing on the NRHP; however, the commercial building is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and has been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 76. View of 103 West Cambridge Street (VDHR #089-0067-0113/089-5066), East Elevation.



Figure 77. View of 103 West Cambridge Street (VDHR #089-0067-0113/089-5066), South Elevation.

Basil Gordon Warehouse (VHDR #089-0067-0011), 104 West Cambridge Street, ca.1830

This two-story brick warehouse includes architectural features such as a slate shingled gable roof, stone foundation, six-over-nine-light replacement windows with masonry sills, interior brick chimney flues (Figure 78). The west elevation is Flemish bond and features three entry doors with masonry thresholds. While the center and southernmost doors have stone steps, a millstone was used as the step leading to the northernmost doorway. A bulkhead entrance is located between the center and southernmost doorways. Evidence of a full-width porch is visible just below the second floor windows. The east elevation is laid in an English bond pattern with two recessed doorways with lighted transoms. A shadow of a gable-roofed porch is visible around the southern doorway and evidence of a one-story porch is visible to the right of the northernmost doorway (Figure 79).

Though known colloquially as the Basil Gordon Warehouse, this building was constructed by the Lightner family, who came to Falmouth from England in 1832. At the present time definitive evidence that this warehouse is associated with Basil Gordon. Reportedly constructed as a house originally, the building was converted to a store and later a lunch-room. The bricks are said to have been made locally at a brick clamp, and the millstone that serves as a step was retrieved from the riverbank (Heflin 1936).

This building is a good example of early to mid-nineteenth century architecture that has been adaptively reused; however not substantially altered, with the exterior retaining many of its historic architectural features. The building is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 78. View of the Basil Gordon Warehouse (VDHR #089-0067-0011), 104 West Cambridge Street, West Elevation.



Figure 79. View of the Basil Gordon Warehouse (VDHR #089-0067-0011), 104 West Cambridge Street, East Elevation.

Custom's House/Magistrate's Office (VDHR #089-0067-0007), 123 West Cambridge Street, 1855

The Custom's House is constructed of brick in a Flemish bond pattern on the east façade, with English bond on the remaining elevations. Architectural features original to the building include the six-over-nine-light double hung wood sash, with segmental arches, front wood raised six-panel entry door with a three-light transom and lintel. An interior end brick chimney is also visible in the west elevation (Figures 80 and 81).

This structure has been used historically as a municipal building and is labeled on the 1912 Sanborn Map as the Courthouse. This building is a rare example of a mid-nineteenth century governmental building that has been minimally altered and retains much of its historic architectural integrity. The building is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District. The building, as a rare surviving example from its time period, may be individually eligible to the NRHP under Criterion C for Architecture.*



Figure 80. View of the Customs House/Magistrate's Office (VDHR #089-0067-0007), 123 West Cambridge Street, East Elevation.



Figure 81. View of the Customs House/Magistrate's Office (VDHR #089-0067-0007), 123 West Cambridge Street, South Elevation.

Brooks House (VDHR #089-5065), 77 Cambridge Street, 1790

The original portion of the Brooks House is a two-story, two-bay front gable frame building resting on a stone foundation with a two interior brick chimneys. Historically, this building was used as a warehouse by Basil Gordon, and later a residence by Duff Green (Dodd 2006). The original section exhibits characteristic attributes such as high ceilings on the first floor ideal for the storage of bulk goods typically housed in warehouses of this time period. Additions constructed on the side elevations were probably added to expand the storage capacity of the building. The twelve-over-twelve-light window in the second bay of the original section is typical for the time period and is probably original to the building. The additions and the second floor employ six-over-six-light double hung sash windows, also common during the late eighteenth century (Figures 82 and 83). Modern alterations include asbestos siding.

This warehouse building has been altered in sections and therefore does not retain enough architectural integrity to be individually eligible for listing on the NRHP; however, the commercial building is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067), but has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *Warehouses from the late eighteenth century are rare therefore it is the opinion of CRI, that this resource, though altered, should retain its status as a contributing resource within the Falmouth Historic District due to its rarity.*



Figure 82. View of the Brooks House (VDHR #089-5065), 77 Cambridge Street, East Elevation.



Figure 83. View of the Brooks House (VDHR #089-5065), 77 Cambridge Street, South Elevation.

House (VDHR #089-0067-0016), 104 Cambridge Street, 1720

The frame one-story dwelling was constructed with a steeply pitched roof typical of early eighteenth century Virginia architecture. Other architectural features include an exterior end brick chimney on the north elevation covered in stucco and a stone foundation. Alterations to the original section of the building include the addition of vinyl siding, the two-over-two-light double hung wood sash and aluminum one-over-one windows on the north and south elevations. An enclosed one-story porch extends from the west elevation with a shed roof supported by wood columns was also added as well as a one-story shed roof addition on the east elevation. On the south elevation is a one-story gabled addition with a one-story shed roof addition (Figures 83 and 84).

This building has been significantly added to and altered and does not retain enough architectural integrity to be individually eligible for listing on the NRHP; however, the dwelling is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 84. View of 104 Cambridge Street (VDHR #089-0067-0016), Facing Southeast.



Figure 85. View of 104 Cambridge Street (VDHR #089-0067-0016), Facing Northeast.

Farm (VDHR #089-5085), 116 Cambridge Street, ca. 1860

Unlike most dwellings located within Falmouth, the farm located at 116 Cambridge Street is set far back from the street (Figure 86) and is a surviving example of a mid-nineteenth century rural I-house. Later development has encroached on the farm so it is no longer on the outskirts of the village. As is typical of this style of two-story dwelling the building was constructed with a side gable roof and incorporates a one-story, hipped-roof four-bay front porch with turned posts.

This building is a typical example of a mid-nineteenth century I-house and therefore is not individually eligible for listing on the NRHP under Criterion A, B or C; however, the building is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067), but has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. ***In the opinion of CRI, that this resource should no longer be considered part of the Falmouth Historic District as it distance from the cohesive and intact core of the district and the presence of vacant lots and modern development between does not lend itself to inclusion.***



Figure 86. View of 116 Cambridge Street (VDHR #089-5085), West Elevation.

Thompson House (VDHR #089-5071), 122 Cambridge Street, 1790

Similar to the dwelling located at 104 Cambridge Street, the Thompson House was also constructed with a steep gable roof (Figure 87). The frame dwelling has remnants of the original building including the stone foundation and exterior end brick chimney on the north elevation. The entire building is sheathed in weatherboard siding; however, without close examination it was difficult to determine if any of the boards are original. The centered gable-roof dormer on

the front roof slope is a later addition and contains a two-over-two-light double hung sash window. Other additions and alterations include a one-story hipped roof porch supported by wood columns with newly constructed steps and railings utilizing pressure-treated lumber. A one-story low-pitched gable roof wing extends is located on the north gable end and may have served as a kitchen.

This building has been significantly altered in sections and therefore is not individually eligible for listing on the NRHP; however, the dwelling is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067), but has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should not be included as a contributing building within the Falmouth Historic District due to its loss of architectural integrity and setting.*



Figure 87. View of 122 Cambridge Street (VDHR #089-5071), West Elevation.

Canal Keeper's House (VDHR #089-0067-0028), 104 King Street, ca. 1800

The Canal Keeper's House was constructed as a duplex with a center interior chimney and is clad in weatherboard siding and rests on a stone foundation (Figure 88). This type of building appears to be representative of late eighteenth to early nineteenth century canal workers housing in Virginia; however, extant examples are few. Two gable roof dormers project from the southern roof slope. Fenestration consists of six-over-six wood double hung sash windows on the first floor and four-over-four-light in the dormers and in the gable ends. A one-story shed roof addition is located off the north elevation.

This property was historically known as the “sluice-gate cottage”. The sluice gate, which controlled the flow of water from the millpond into the millraces, was part of the Falmouth Canal located just west of the property (Johnson 1997).

This dwelling is a scarce example of a mid-nineteenth century building associated with the canal and has been minimally altered and retains much of its historic architectural integrity. The building is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District. The building, as a rare surviving example from its time period, may be individually eligible to the NRHP under Criterion C for Architecture.*



Figure 88. View of the Canal Keeper’s House (VDHR #089-0067-0028) 104 King Street, Facing Northwest.

Conway House (VDHR #089-0067-0031), 305 King Street, 1807

The Conway House is a well preserved and intact example of early nineteenth century Federal Period architecture. The exterior walls were laid in a Flemish bond pattern on the front façade and English bond on the remaining three elevations. Slate shingles cover the gable roof, typical of the time period. Exterior end brick chimneys with corbelled tops are located on each gable end. The original windows on the house appear to be extant and consist of nine-over-nine-light double hung wood sash windows on the first floor with six-over-nine on the second floor. Intact are also the brick lintels above the windows and the front entry with its round arch in brick above the door.

The original owner and builder of the house is not presently known. It was purchased by James Vass in 1812, who had been renting the home from William Cunningham & Co. of England (Johnson 1997). In 1838 the property was sold to the Conway family, and became the childhood home of Moncure Daniel Conway. According to his memoirs, the drawing room was wallpapered with a continuous scene of a Rotterdam Canal with women washing clothes, children playing, and barges on the water. The wallpaper remained intact until the house was used as a Civil War hospital (Conway 1904).

The Conway House (VDHR #089-0067-0031) is currently individually listed on the NRHP and is listed as a contributing element to the Falmouth Historic District under the original 1970 boundaries. The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District. Additionally, the property has received a protective easement from the VDHR.*



Figure 89. View of the Conway House (VDHR #089-0067-0031), 305 King Street, South Elevation.

Samuel Gordon House (VDHR #089-0067-0012), 100 Carter Street, 1784-1860

The land on which the house stands was originally purchased by Samuel Gordon in 1783. The one-story brick section of the house, on the north end of the structure, is the original 1784 dwelling built by Samuel Gordon. The dwelling was constructed with an interior end brick chimney on the north elevation, nine-over-nine double hung wood sash windows with four-over-four double hung wood sash in the attic space (Figure 90). The house was added to in the mid-nineteenth century, shifting the main living space to the two-story Greek Revival-style center block. Instead of brick this portion of the building is frame on a stone foundation and retains its weatherboard siding. Additional architectural features associated with its period of construction include a dentiled cornice and a Greek Revival-style entry porch.

This dwelling is an example of a late eighteenth century building that was expanded in the mid-nineteenth century. The house was historically expanded, but in doing so did not dramatically alter the historic architectural integrity of either section. The building is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 90. View of the Samuel Gordon House (VDHR #089-0067-0012), 100 Carter Street, Facing Southwest.



Figure 91. View of a Stone Shed at the Samuel Gordon House (VDHR #089-0067-0012), 100 Carter Street, Facing Northeast.

Dunbar Kitchen (VDHR #089-0067-0009), 107 Carter Street, ca. 1750

The Dunbar Kitchen, presently used as a dwelling, was built in the mid-eighteenth century. Constructed of masonry then covered in stucco, the building also features two large exterior end brick and stone chimneys with corbelling at the top. The three gable dormers located on the south roof slope appear to be later additions. Windows are six-over-six double hung wood sash throughout. The porch, which extends across the front façade, was added in the mid-to-late twentieth century (Figure 92).

Located on the property and usual because they survive in a more densely populated village setting are several outbuildings including a dairy, well house, privy and shed. The dairy and well house are sheathed in weatherboards and the shed and privy in stucco. Except the dairy the other outbuildings appear to have been constructed later. This frame and clapboard outbuilding appears on the 1912 Sanborn Map. The map also depicts a matching outbuilding to the west of the main dwelling of unknown use (Figures 92, 93, 94 and 95).

The property, because the main house is not present, has archaeological potential to yield information about mid-eighteenth century house construction. Though most yard areas of this time period are archaeologically sensitive, the southern portion of the yard should be examined in particular as there is a large rectangular mound, which may represent the remains of the larger house.

This dwelling is a scarce example of a mid-eighteenth century building with associated outbuildings and retains much of its historic architectural integrity; however its setting has been compromised by the construction of a modern building on the adjacent lot and in close proximity. The Dunbar Kitchen is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. ***In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District. Because of the potential for undisturbed yard areas on the property, systematic Phase II archaeological testing is recommended if any ground disturbance is required.***



Figure 92. View of the Dunbar Kitchen and Dairy (089-0067-0009) 107 Carter Street, Facing Northwest.



Figure 93. View of Pump Well at the Dunbar Kitchen (VDHR #089-0067-0009), 107 Carter Street, Facing Northwest.



Figure 94. View of Privy at the Dunbar Kitchen (VDHR #089-0067-0009), 107 Carter Street, South Elevation.



Figure 95. View of Shed at the Dunbar Kitchen (VDHR #089-0067-0009), 107 Carter Street, Facing Northeast.

Falmouth Union Church and Cemetery (VDHR #089-0067-0037), Carter Street, 1791

The Falmouth Union Church as originally constructed was a two-story brick Federal-style building located on the east side of the curve of Carter Street. All but the narthex of the church has collapsed (Figure 96). In 1964, the façade of the church was stabilized by filling in the east elevation with brick. The west elevation is original to the 1818 structure and is constructed of Flemish bond brick. The two entrance doors and lunette windows with gauged brick jack arches over the two second-floor windows are located on the front facade. A belfry extends from the center of the roof, with a brick façade and wooden sides and back.

The town of Falmouth was created by act of the Virginia General Assembly in the year 1727 which said act called for parcels to be set aside for a “church and church yard.” The first church on the site was a frame structure built by 1733 (Brunswick Parrish). This church was abandoned and left to decay while a brick church was built ca. 1755. The site of the original church is now part of the cemetery, however, underground foundations would compose an important archeological site and a surface feature is visible. The ca. 1755 brick church was constructed approximately 200 feet southwest from the original site, at the location of the present Union Church site. The ca. 1755 church structure burned in 1818, and the current structure was rebuilt on the same brick foundation that same year. The church itself was used as a Union Hospital during the Civil War, and Union Artillery batteries were positioned on heights overlooking the Union Church during the Fredericksburg Campaign. The site could possibly contain Civil War artifacts associated with a hospital. Oral history relates numerous such artifacts were found in the 1960’s (VDHR Archives).

Many early grave markers of hand cut stone are in the cemetery, some ornately carved. Among the graves of prominent individuals include the graves of John DeBaptist, an accomplished eighteenth century free black merchant, and James Hunter of Rappahannock Forge. The grave site of James Hunter is encompassed with period wrought iron fencing. Also one Count Herard, who fought under Napoleon and was exiled by Louis XVIII, is interred here. The cemetery contains numerous African-American graves, many of which are un-marked. The possibility of unmarked Civil War graves exists as well, as the cemetery was used to bury the dead killed in the skirmish of April 1862. The interments continued throughout the Civil War, due to the church and adjacent Conway House being utilized as a hospital (VDHR Archives). Although some Civil War graves were later exhumed and relocated to the National Cemetery, it is possible that some were overlooked. Oral tradition contends there is an unmarked Confederate mass grave and Confederate uniform buttons have surfaced on the adjacent Conway House property. There are recorded instances of Union soldiers desecrating graves in the cemetery in search of valuables and moving existing markers/material to make makeshift markers for their own dead. Using head stones for makeshift fire hearths during the winter occupation was also a common practice (VDHR Archives).

The remnants of the late eighteenth century church and associated graveyard are listed as a contributing resources in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The church and cemetery have also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a*

contributing resource within the Falmouth Historic District. VDHR has also determined that this resource is eligible for individual listing on the NRHP.

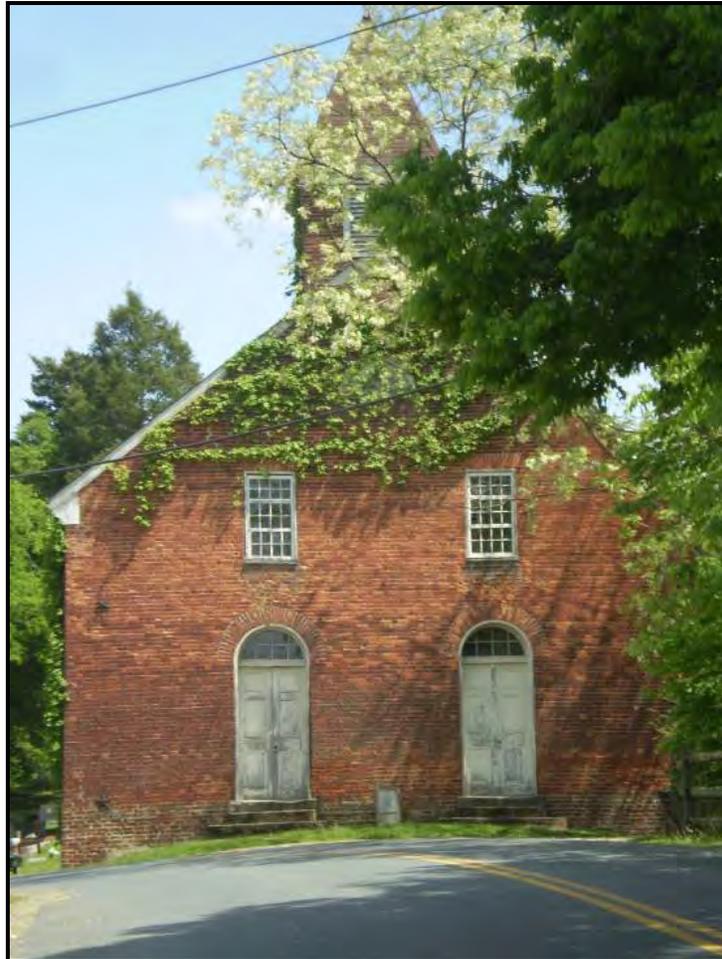


Figure 96. View of Union Church (VDHR #089-0067-0037), Carter Street, East Elevation.



Figure 97. View of Union Cemetery (VDHR #089-0067-0037), Facing West.

Master Hobby School (VDHR #089-0067-0029), Carter Street, 1840

The Master Hobby School is a log structure with brick and mortar chinking located within the boundaries of the Falmouth Cemetery on the east side of Carter Street. The lot is delineated by stone columns and large trees (Figure 99). The building is supported by a stone foundation and the gable roof is covered in cement shingles. The north elevation features an exterior stone chimney. Local information states that the building was moved from its original location.

This building served as a school during the late eighteenth and early nineteenth century, and is named after its resident teacher, Master Hobby. The school is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource, even though the structure has been moved, should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 98. View of the Master Hobby School (VDHR #089-0067-0029), Carter Street, West Elevation.

Counting House (VDHR #089-0067-0006), 103 Gordon Street, 1840

The Counting House is a steeply-pitched front gable roof and multiple additions, located at the northwest corner of the intersection of Gordon and King Streets. The foundation is composed of un-coursed sandstone with white mortar. Throughout the twentieth century the foundation has undergone numerous repairs, including Portland cement patches and a section replaced with mortared cinder block. The original portion of the home is clad in wide horizontal board with no overlap, while the southern and western additions are both covered in narrow clapboard. The difference in exterior covering helps to differentiate the original section from the additions (Figures 100 and 101; Barile 2006).

The primary (east) elevation contains a single door entry near the center of the existing façade. The windows are six-over-six and two-over-two double hung wood sash. In the attic space, one large fixed window is located under the eave. The 16-light window is a replacement for what was once a door opening. Based on the replacement horizontal board below the window and pulley brackets above the window, it is apparent that the window replaced a loft door that was originally part of the building configuration (Barile 2006).

The Counting House appears to have originally been constructed as a storage building rather than a residence. After the heyday of Falmouth shipping and milling came to a close, fewer storage facilities were needed along the river front. In 1854, the home was converted into a residence by the Stiards family. The parcel was known as the “Stiards Lot” into the twentieth century. After the turn of the century, two additions were made to the home, which greatly enlarged the interior.

Over the past few decades, the interior was gutted prior to a major rehabilitation, but the project was halted before the work could be completed (VDHR Archives).

This Counting House is a rare example of a mid-eighteenth century building. The building still retains some historic architectural integrity and is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 99. View of the Counting House (VDHR #089-0067-0006), 103 Gordon Street, East Elevation.



Figure 100. View of the Counting House (VDHR #089-0067-0006), 103 Gordon Street, North Elevation.

Moncure House (VDHR #089-0067-0030), 25 Butler Road, 1840

The Moncure House is a two-story side hall plan dwelling over a half English basement (Figures 102, 103 and 104). The entire house is clad in vinyl siding and rests on a brick and stone foundation with two large exterior stone and brick chimneys on the east elevation. Windows are vinyl replacement throughout, and the side gable roof is covered in standing seam metal. The south elevation features a Greek Revival-style portico supported by Tuscan-style columns (Figure 104).

This house is the birthplace of Kate Waller Barrett. In 1898, Dr. Barrett organized the National Florence Crittenton Mission Training School for Christian Workers; an establishment dedicated to providing future women's missionary workers with the skills necessary to succeed. Her emphasis on empowering women was unconventional for the time period, challenging the belief that women could not financially support themselves. She also nurtured the idea that training and skill were necessary to perform a job well. Students were part of a highly structured and demanding schedule, focusing on domestic science, religion, social welfare, medicine and physical exercise. A hospital was also located within the school, allowing Dr. Kate Barrett and her students the opportunity to treat the many women that came to them with diseases, poor health and complications with pregnancy (Aiken 1998).

Dr. Katherine Barrett served as a voice to the community. She published numerous books, pamphlets and magazines, served as president to the National Council of Women and was a frequent speaker at the National Conference of Charities and Corrections. Later in her career, Dr. Barrett displayed an interest in politics and public policy. She became a well-known advocate for

immigrant women and was appointed by the U.S. Government to serve an agent to investigate related problems. When World War I began, her organization became a partner in supporting the war efforts (Zerfas 2008).

The Moncure House is a good example of a mid-eighteenth century building exhibiting large double exterior end chimneys. The building still retains its historic architectural integrity in its configuration and is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District. The resource may be potentially eligible for individual listing on the NRHP under Criterion B for its association with Dr. Katherine Barrett.*



Figure 101. View of Moncure House (VDHR #089-0067-0030), 25 Butler Road, Facing Northwest (Library of Congress Historic American Buildings Survey, 1939)



Figure 102. View of the Moncure House (VDHR #089-0067-0030), 25 Butler Road, East Elevation.



Figure 103. View of the Moncure House (VDHR #089-0067-0030), 25 Butler Road, South Elevation.

House (VDHR #089-0067-0021), 108 Washington Street, ca. 1800

The dwelling is a two-story side hall frame Federal-style detached townhouse located adjacent to Falls Run and the remains of the Falmouth Canal on the east side of the property. The original portion of the house rests on a field stone foundation and is sheathed in weatherboards. Additions to the house include a two-story rear ell with a shed-roofed porch constructed probably after the turn of the twentieth century. Windows have been replaced in most instances, but do not detract from the overall historic appearance of the house (Figure 108). The front entry door is early nineteenth century style unfinished wood plank door with strap hinges.

This house is a good example of an early-nineteenth century building. The building still retains much of its historic architectural integrity in its configuration and is listed as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 104. View of 108 Washington Street (VDHR #089-0067-0021), Facing Southwest.

1865-1919: End of the Civil War to World War I

The time period between the Civil War and World War I saw the construction of early twentieth century commercial buildings and smaller dwellings as in-fill between older pre-Civil War homes. Houses were also constructed to the north of the main core of the village as well as to the east. Two churches built during this time include Golgatha Church, ca. 1891 (VDHR #089-0067-0014), a stick style building and a smaller wooden African-American church (VDHR #089-5087) to the north. A majority of the buildings constructed during this time were frame.

Berry's Store (VDHR #089-0067-0032), 101 Washington Street, 1900

The store at 101 Washington Street is a ca. 1900 two-story frame building located at the northwest corner of West Cambridge and Washington Streets. The structure appears in a postcard featuring a view of West Cambridge Street dated 1901 (Figure 106). The 1919 Sanborn Map depicts this building as a grocery.

The building has been modified over the years, most notably on the front façade, and the addition of vinyl siding. The second floor of the porch has been added and/or enclosed. Originally, as depicted in the postcard, the porch was a single story with a hipped roof. The porch itself actually projected into the street. The front door is flanked by two multiple-light display windows with the remainder of the windows are six-over-six double hung wood sash. Typical of stores constructed in the early twentieth century, this building was designed with a front parapet roof (Figure 107).

This store has been significantly altered in sections and therefore is not individually eligible for listing on the NRHP; however, the building is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing building within the Falmouth Historic District.*



Figure 106. View of West Cambridge Street from the Old Falmouth Bridge, ca. 1901 (*Belmont, The Gari Melchers Estate & Memorial Gallery, Mary Washington College, Fredericksburg, Virginia*).



Figure 107. View of Berry's Store (VDHR #089-0067-0032), 101 Washington Street, Facing Northwest.

House (VDHR #089-0067-0022), 110 Washington Street, ca. 1870

The dwelling at 110 Washington Street is a two-story frame I-house located on the south side of Washington Street. A gravel drive extends the length of the west elevation, and a poured concrete walkway leads to the front porch (Figure 165).

The house has a low-pitched side-gable roof covered in asphalt shingles and rests on a field stone foundation. The entire structure is clad in weatherboard siding. Windows are original two-over-two double hung wood sash on the second floor, and six-over-six double hung wood sash on the first floor. A two-bay porch is located on the north elevation, with a hipped roof supported by square wood columns resting on a stone and concrete foundation. A shed roof addition extends from the south elevation (Figure 164).

This house is an example of a late-nineteenth century building constructed in the Village of Falmouth. The building retains much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 108. View of 110 Washington Street (VDHR #089-0067-0022), North Elevation.

House (VDHR #089-0067-0023), 112 Washington Street, 1880

The dwelling at 112 Washington Street is a two-story frame I-house located on the south side of the street. This side gable-roofed dwelling rests on a field stone foundation, probably original, and retains its weatherboard siding and six-over-six double hung wood sash windows. A full-width porch is located on the north elevation, with a hipped roof supported by square wood columns and a stone and concrete foundation. A shed roof ell has been constructed off the south elevation and contains an interior brick chimney (Figure 110).

This house is an example of a late-nineteenth century building constructed in the Village of Falmouth. The building retains much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 109. View of 112 Washington Street (VDHR #089-0067-0023), North Elevation.

House (VDHR #089-0067-0025), 115 Washington Street, 1880

The dwelling at 115 Washington Street is a one-story frame building sheathed in weatherboards. The most prominent feature of the house is its front entry porch, with tapered square stone columns, which partially obscured the front façade. The house retains its original windows including three-over-three, two-over-two and four-over-four light double hung sashes (Figures

110 and 111). Additions and alterations to the house include a concrete block chimney flue and rear ell.

This house is an example of a late-nineteenth century building constructed in the Village of Falmouth. The building retains some of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 110. View of 115 Washington Street (VDHR #089-0067-0025), South Elevation.



Figure 111. View of 115 Washington Street (VDHR #089-0067-0025), Facing Southwest.

Hill Cemetery (VHDR #089-0067-0077), Washington Street

The Hill Cemetery is located on Washington Street, at the end of a paved drive. The cemetery is enclosed by a concrete wall with an iron gate. Vegetation within the cemetery consists of periwinkle, orange daylilies, English boxwood, and a dogwood tree. There are eight marked burials within the cemetery, along with several unmarked burial depressions (Figures 112 and 113).

The headstones within the cemetery bear the following epitaphs:

At Rest Florence Hill Entered Rest December 2, 1919 My life is dark without you dear sister
William Ross Hill Died June 30, 1925 Last of his immediate family At rest
Betsy Latham Aged 60 Years
George Latham Aged 50 Years
Mary Hill wife of Harris Hill Aged 45.
In Loving Remembrance of a Dear Father Harrison Hill Born Nov 19, 1808
Frank L. Hill Born May 28, 1846 Died November 11, 1913
In Remembrance of Nettie Hill who Departed Her Life January 13, 1920

By definition, cemeteries are not individually eligible for listing on the NRHP unless they contain a birthplace or grave of a historical figure of outstanding importance if there is no other appropriate site or building directly associated with his or her productive life; or if they derive their primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events. The Hill Cemetery meets

neither of these criteria; therefore, is not individually eligible for listing on the NRHP. The cemetery; however, is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The site has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 112. View of Hill Cemetery (VHDR #089-0067-0077), Washington Street, Facing East.



Figure 113. View of Hill Cemetery (VHDR #089-0067-0077), Washington Street, Facing South.

House (VDHR #089-0067-0048), 116 Washington Street, 1900

The dwelling at 116 Washington Street is two-stories and is sheathed in stone veneer, which, according to the owner, was applied over the original clapboard siding in the 1980s. Windows are one-over-one double hung wood sash, with a multiple-light picture window on the north elevation. The front porch has a hipped roof covered in asphalt shingles, supported by square columns also clad in stone veneer. The south elevation features several additions, including a one-story shed roof and a one-story flat roof ell (Figure 114).

This house is an example of an early twentieth century building constructed in the Village of Falmouth. The building has lost its historic architectural integrity, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 114. View of 116 Washington Street (VDHR #089-0067-0048), North Elevation.

Roots House (VDHR #089-5074), 244 Washington Street, 1881

The Roots House is a one-and-a-half-story frame or log hall-and-parlor plan house located on the southwest corner of the intersection of Washington Street and US Route 17. The building was constructed on a field stone foundation, is sheathed in weatherboard siding and has an interior end brick chimney, formerly on the (Figures 115 and 116). This structure has several additions. The earliest appears to be a one-story lean-to addition on the west elevation with an interior end brick chimney, possibly a kitchen extension. A one-story shed roof addition was constructed on the north elevation and a one-story gable-roof addition extends from the south elevation.

Small, more modern, outbuildings are associated with this structure including a plywood shed with a gable roof to the southwest of the main building, a whitewashed outhouse west of the plywood shed, and a whitewashed livestock shed to the northwest of the main building.

This house is an example of a late nineteenth century building, possibly log, constructed in the Village of Falmouth. The building has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building was not included in the 2006 NRHP nomination update, but appears to be a contributing resource in the proposed historic district boundary suggested by VDOT. *Because of its potential as a surviving log structure, which appears to be uncommon in Falmouth, it is the opinion of CRI, that this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 115. View of 244 Washington Street (VDHR #089-5074), South Elevation.



Figure 116. View of 244 Washington Street (VDHR #089-5074), East Elevation.

Service Station (VDHR #089-5082), 105 West Cambridge Street, 1900

The service station is a one-story masonry structure located at the southwest corner of West Cambridge and Washington Streets. An interview with the owner revealed that this structure is a heavily remodeled S & O service station originally constructed ca. 1900. The original station is visible in a postcard featuring a view of West Cambridge Street dated 1901 (Figure 117). The building was severely damaged by fire in the 1980s and has been rebuilt. The main portion of the structure is constructed of masonry with brick veneer, with a cross-gable roof covered in asphalt shingles. The columns on the east elevation originally supported a porte-cochere, where the gas pumps were located. A remnant of the original clapboard siding is visible on the west elevation. A flat, tar-roofed addition to the west and south elevations contains three service bays with roll-up doors (Figures 118).

The present service station has been rebuilt after being burned and is essentially a late twentieth century building on the site of an early twentieth century gas station, which has resulted in the loss of the building's historic architectural integrity. The building is included as a resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) as well as in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *The proximity of the building within the district includes it in the historic district boundary recommended by CRI; however, because of its rebuilding it should be considered as a non-contributing structure within the Falmouth Historic District.*

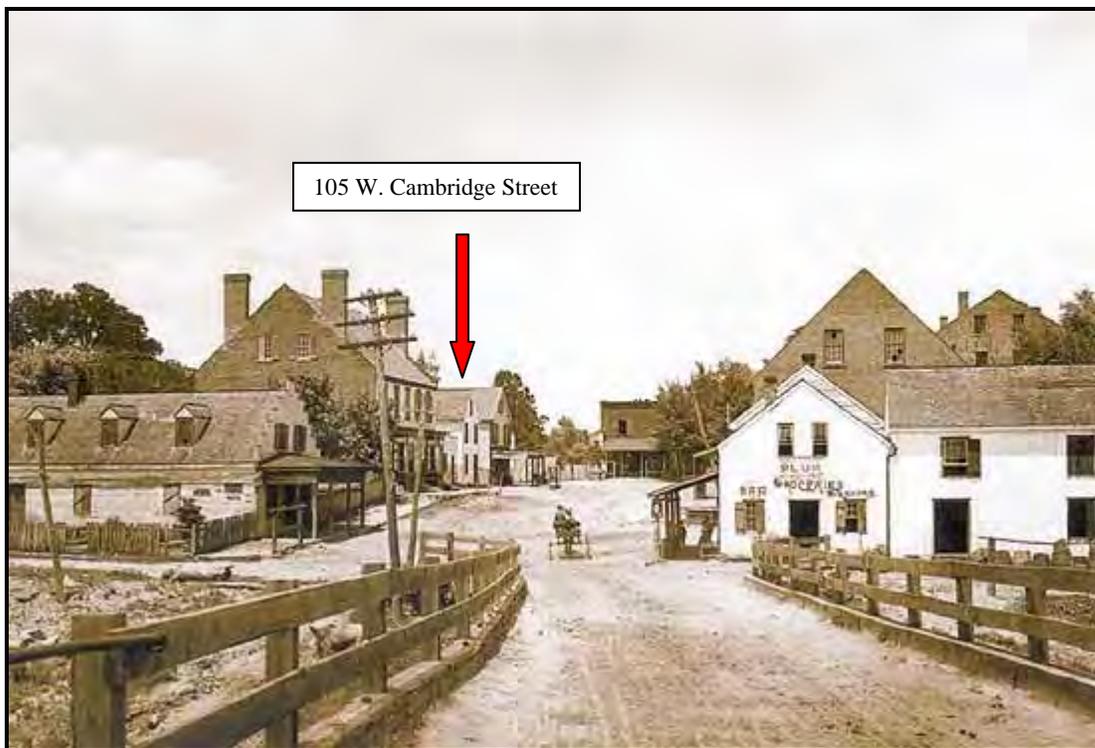


Figure 117. View of West Cambridge Street from the Old Falmouth Bridge, ca. 1901 (Belmont, *The Gari Melchers Estate & Memorial Gallery, Mary Washington College, Fredericksburg, Virginia*).



Figure 118. View of 105 West Cambridge Street (VDHR #089-5082), Facing Southwest.

House (VDHR #089-0067-0002), 125 West Cambridge Street, ca. 1900

The dwelling at 125 West Cambridge Street was originally a one-and-a-half-story frame building which has had several subsequent additions. The front porch, located on the east elevation, features a shed roof supported by square wood posts and has been screened-in. A shed roof dormer has been added to the north elevation, along with a one-story shed addition. This portion of the house rests on a concrete block foundation, and is clad in weatherboards. Windows on the central portion of the house are six-over-six double hung wood sash, while on the shed addition the windows are 6-light casements (Figure 119).

The west elevation contains a large addition that appears to have been originally a one-story enclosed porch on a poured concrete foundation, which now is two stories and overlaps the shed dormer on the original portion of the house. These additions are clad in asbestos shingles and feature the same style windows as the main block.

This house is an example of an early twentieth century building constructed in the Village of Falmouth. The building retains some of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. ***In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.***



Figure 119. View of 125 West Cambridge Street (VDHR #089-0067-0002), East Elevation.

Commercial Building (VDHR #089-5089), 106 Cambridge Street, 1910

The commercial building at 106 Cambridge Street consists of a converted American Foursquare dwelling joined to a commercial building. The original dwelling portion of the building has been extensively altered with the addition of vinyl siding, replacement windows and a boarded-up dormer window (Figure 120).

The northern portion of the building is a two-story L-shaped structure with a shed roof awning on the west elevation, typical of utilitarian commercial buildings of the time. This portion of the building has sheathed in vinyl siding, the front, first floor in brick veneer and has had several concrete block additions added onto the rear of the building (Figures 120 and 121).

This building is a typical example of an early twentieth century commercial building with a converted dwelling attached. The architectural integrity of the dwelling has been compromised and the commercial building is a common type for its time period therefore is not individually eligible for listing on the NRHP under Criterion A, B or C; however, the building is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067), but has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, that this resource should no longer be considered part of the Falmouth Historic District because of its loss of architectural integrity and setting.*



Figure 120. View of 106 Cambridge Street (VDHR #089-5089), West Elevation.



Figure 121. View of 106 Cambridge Street (VDHR #089-5089), Facing Southwest.

House (VDHR #089-5086), 118 Cambridge Street, ca. 1870

The original portion of the house has a front gable roof covered in asphalt shingles and rests on a field stone foundation. Though altered by the addition of vinyl siding, the building still retains its original four-over-four and six-over-six wood double hung sash windows as well as its wood and glass entry door. There is also a central interior brick chimney in the original portion of the house. Additions to the building include a one-story shed roof wing with an interior end brick chimney on the north elevation and one-story shed roof addition on brick piers, which have been in-filled with concrete, on the south elevation (Figure 122).

This building is an example of a late nineteenth century dwelling, which was once on the outskirts of the village. The building still retains most of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). This dwelling has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, that this resource should no longer be considered part of the Falmouth Historic District not because of its lack of architectural integrity, but because it is too far removed from the central cohesive core of the district.*



Figure 122. View of 118 Cambridge Street (VDR #089-5086), West Elevation.

Church (VDHR #089-5087), 120 Cambridge Street, ca.1870

This church is identified on the 1919 Sanborn map of Falmouth as the “Negro Church” and is significant to the history of free blacks in Falmouth. The original block of the building rests on a stone foundation and has a central interior brick chimney. The building retains its original weatherboard siding and architectural ornamentation in the form of pinnacles. The front of the building has an enclosed gable roof entry with double doors with wood crosses. Windows on the nave have all been boarded over, but one visible window on the narthex has an arched opening (Figure 123).

This resource is included in the NRHP as a contributing element to the Falmouth Historic District (089-0067) as defined by the listed 1970 boundaries. This dwelling has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. While the building does not fit into the historic district conveniently it is nonetheless an important building within the Village of Falmouth and to its history as an early African-American church. *Therefore it is recommended that even if the building is not included in the formal historic district boundaries for Falmouth, it should come under special consideration in the planning process and appropriate preservation action taken for its survival.*



Figure 123. View of 120 Cambridge Street (VDHR #089-5087), Facing Southeast.

House (VDHR #089-0067-0112), 109 Gordon Street, 1902

The dwelling at 109 Gordon Street is a two-story I-house with multiple additions. The original portion of the house is two stories, with a gable roof and a central interior chimney. Additions include a one-story gable-roof addition to the south elevation, with an interior chimney on the west elevation, and a one-story gable roof addition to the north elevation. The north elevation features a one-bay two-story addition as well, with a one-story shed-roof porch. A porch on the east elevation features a steeply pitched shed roof supported by turned columns and wooden railings. Recently the entire structure has been clad in vinyl siding and the windows replaced with six-over-six vinyl sashes (Figures 124 and 125).

This house is an example of an early twentieth century building constructed in the Village of Falmouth. The building has lost much of its historic architectural integrity, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. ***In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District due to its proximity within the district.***



Figure 124. View of 109 Gordon Street (VDHR #089-0067-0112), East Elevation.



Figure 125. View of 109 Gordon Street (VDHR #089-0067-0112), North Elevation.

Golgotha Church (VDHR #089-0067-0014), 100 Forbes Street, 1891

The two-story Stick-style frame church, located on the northeastern corner of the intersection of Forbes and Cambridge Streets, retains many of its architectural features including weatherboard siding, bell tower with original church bell and ornamentation. Other architectural features of the church include a cross-gabled roof covered in standing seam copper, a fieldstone foundation, six-over-six wood sash windows and double entry doors with a three-light transom above. Two interior end brick chimneys on the south elevation have also been incorporated into the design. On the north elevation is an entrance with a hanging pediment supported by diagonal porch-support braces, with decorative trusses in the gable (Figures 126 and 127). Because the building sits on a corner lot and because of its architectural styling, the building stands out from those around it and becomes an anchor for the surrounding area and the district as a whole.

The Golgotha Church at 100 Forbes Street was originally formed in 1891 as the Falmouth Baptist Church. It is a significant example of a minimally altered, well-maintained wood frame church structure in Stafford County and Falmouth in particular. This structure is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. ***In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District. Additionally, this resource has been determined eligible for individual listing on the NRHP by VDHR (VDHR Archives).***



Figure 126. View of Golgotha Church (VDHR #089-0067-0014), 100 Forbes Street, West Elevation.



Figure 127. View of Golgotha Church (VDHR #089-0067-0014), 100 Forbes Street, Facing Southwest.

House (VDHR #089-0067-0108), 110 Forbes Street, 1915

The dwelling at 110 Forbes Street is a two-story frame I-house located on the south side of Forbes Street. The building has a side-gable roof covered in asphalt shingles and rests on a poured concrete foundation. The entire structure is clad in aluminum siding, and windows are six-over-six and four-over-four double hung wood sash. The one-story, three-bay porch has a hipped roof supported by turned wood columns. There is a single interior end chimney on the west elevation, and a two-story shed roof addition on the south elevation (Figure 128).

This house is an example of an early twentieth century building constructed in the Village of Falmouth. The building has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 128. View of 110 Forbes Street (VDHR #089-0067-0108), Facing Southwest.

House (VDHR #089-0067-0041), 18 Butler Road, 1900

The dwelling at 18 Butler Road is a one-story front-gable bungalow. The front porch has a wooden floor and hipped roof covered with asphalt shingles, supported by turned wood posts and a wood railing. The front gable roof is covered in an asphalt roll. The front or north elevation has been updated with one-over-one double hung wood sash windows and vinyl siding, with a 6-light fixed window in the gable end, while the east and west elevations feature original weatherboard siding and two-over-two double hung wood sash windows. There is a single central interior brick chimney (Figure 129).

This house is an example of an early twentieth century building constructed in the Village of Falmouth. The building has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*

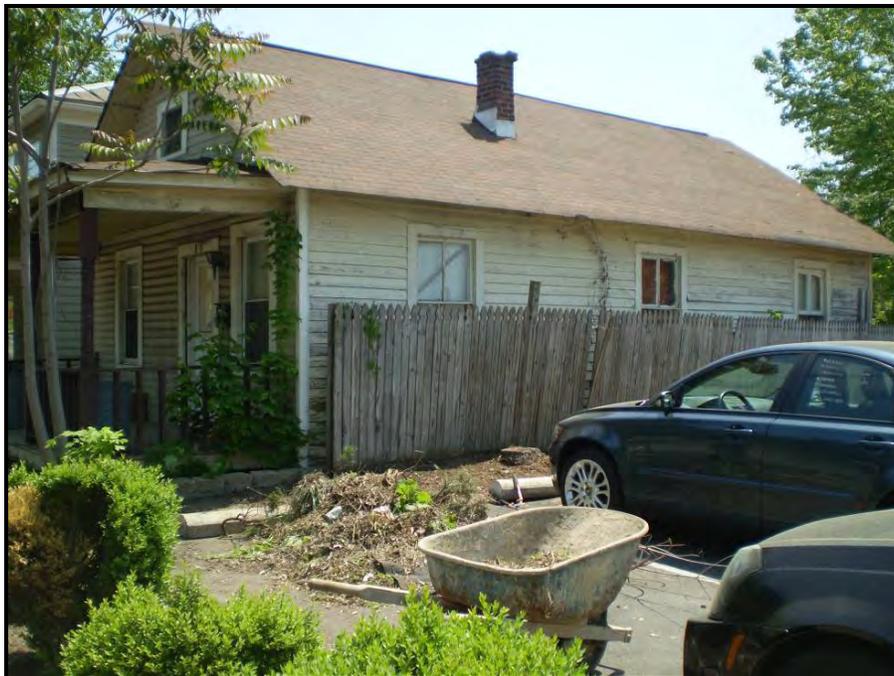


Figure 129. View of 18 Butler Road (VDHR #089-0067-0041), Facing Southeast.

House (VDHR #089-0067-0042), 20 Butler Road, 1900

The dwelling at 20 Butler Road is an American Foursquare two-story frame building with a low-pitched, hipped standing seam metal roof and rests on a poured concrete foundation. The north elevation retains the original clapboard siding, with replacement weatherboard on the remainder of the structure. Windows are six-over-six double hung replacement vinyl sashes, but do not detract from the overall appearance and character of the dwelling. The one-story, three-bay porch has a hipped roof covered in asphalt shingles supported by turned wood columns and a wood railing. The front door is flanked by 5-pane sidelights in a Greek Revival-style door surround. There is a single central interior brick chimney, and a one-story, hipped roof addition extends from the south elevation (Figure 130 and 132).

This house is an example of an early twentieth century building constructed in the Village of Falmouth. The building has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 130. View of 20 Butler Road (VDHR #089-0067-0042), North Elevation.

House (VDHR #089-0067-0043), 22 Butler Road, 1900

The dwelling at 22 Butler Road is an American Foursquare two-story frame building with a low-pitched, hipped roof with a poured concrete foundation. Though the dwelling has been recently clad in vinyl siding, the original two-over-two double hung wood sash windows are still present. The one-story, three-bay porch has a shed roof covered in asphalt shingles supported by square wood posts on brick piers. The house retains its overall configuration with a side entrance. The only major addition to the building has been a one-story, shed-roofed ell off the south elevation (Figures 131 and 132).

This house is an example of an early twentieth century building constructed in the Village of Falmouth. The building has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 131. View of 22 Butler Road (VDHR #089-0067-0043), North Elevation.



Figure 132. View of 22 Butler Road (VDHR #089-0067-0043), Facing Northwest.

House (VDHR #089-0067-0044), 24 Butler Road, 1910

The Craftsman Bungalow located at the southwest corner of the intersection of Butler Road and Carter Street is an intact example of this architectural type. Though converted from a dwelling to a commercial building, the exterior still retains its architectural character. Typical Craftsman detailing still extant includes wide, overhanging eaves, triangular knee braces, shed roof dormer, and a one-story, two-bay front porch with tapered wooden support posts resting on brick piers. The windows are four-over-four wood sash double hung, four-light casements, and six-over-one double hung wood sash. A bay window to the left of the front door has replaced the traditional wood sash windows typical present on this style of building. Two brick chimneys, located on each gable end, are original and characteristic to the building. Alterations include the addition of vinyl siding, a hipped-roof wing, and a ramp made of pressure treated lumber runs along the east elevation to a secondary entrance on the north elevation (Figure 133).

This house is an example of an early twentieth century building constructed in the Village of Falmouth. The building has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. ***In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.***



Figure 133. View of 24 Butler Road (VDHR #089-0067-0044), Facing Southeast.

House (VDHR #089-0067-0114), 112 West Cambridge Street, ca. 1880

The dwelling is a two-story frame structure is clad in weatherboard siding with corner boards and a standing seam metal hipped roof. The front or west half of the building rests on a brick pier foundation, the east half on a poured concrete foundation, suggesting the rear portion of the house was added at a later date. The house retains its original two-over-two wood double hung windows, central interior brick chimneys and weatherboard siding. A small porch with a hipped, asphalt-shingled roof and square wood columns is located at the entry. A one-story hipped roof addition extends from the east elevation (Figure 134).

This house is an example of a late-nineteenth century building constructed in the Village of Falmouth. The building has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 134. View of 112 West Cambridge Street (VDHR #089-0067-0114), Facing Southeast.

1920-1940: End of World War I up to World War II

The buildings constructed during the time between World War I and World War II consists of bungalows, early Ranch-style, small Cape Cod-style and American Foursquare dwellings among other more vernacular buildings. A majority of the buildings surveyed from this time period were located in the eastern portion of the project area and illustrate the development of the once outer reaches of the village. Other buildings were constructed as in-fill on lots adjacent to older structures. Another section of development took place in the northern section of the project area. While there are good examples of building types, which retain a significant amount of architectural integrity, these are separate from the main part of the Historic District by new construction and vacant lots. Many of the dwelling types are common for their date of construction; however, several are located in sections of the village that possess architectural cohesiveness and are contributing resources to the Falmouth Historic District.

Washington Street Bridge (VDHR #089-0067-0076), 1929

The Washington Street Bridge spans Falls Run and connects West Cambridge Street with Washington Street. The bridge is a flat-deck cork-rail concrete bridge with concrete brackets constructed in 1929 (Figure 131; VDHR Archives).

This bridge style was common for its time period and the most widespread type constructed during the 1930s and 1940s. Its popularity is attributed to its ease of construction and its cost effectiveness. The bridge, because it is common type and undistinguished in materials, is not individually eligible to the NRHP, but its location and proximity to the most agreed upon area of the historic district, *CRI recommends that this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 136. View of Washington Street Bridge (VDHR #089-0067-0076), Facing North.

House (VDHR #089-0067-0046), 104 Washington Street, ca. 1930

This one-story gable front bungalow is a frame structure is clad in weatherboard siding and rests on a poured concrete foundation. The dwelling retains many of its original architectural features including two-over-two double hung wood sash windows, window and door surrounds and single central interior brick chimney (Figure 137).

This house is an example of an early twentieth century building constructed in the Village of Falmouth. The building has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 137. View of 104 Washington Street (VDHR #089-0067-0046), Facing So.

House (VDHR #089-0067-0049), 117 Washington Street, ca. 1940

The 1940s house at 117 Washington Street is a one-story, four-bay frame dwelling located on the north side of Washington Street and is an example of a mid-twentieth century in-fill architectural type. This structure is clad in asbestos siding, common for its time period, and rests on a cinder block foundation. Other architectural features include a center interior cinder block chimney, six-over-six double hung wood sash windows, and multi-light wood and glass entry door. The only apparent alteration to the building is the rebuilt small front porch, which is constructed of pressure-treated lumber (Figure 138).

This house is a good example of an early twentieth century building constructed in the Village of Falmouth. The building has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 138. View of 117 Washington Street (VDHR #089-0067-0049), East Elevation.

House (VDHR #089-0067-0050), 119 Washington Street, ca. 1950

The house is a cross-gable Cape Cod-style dwelling on a raised cinder block foundation with stone steps and porch leading to the front door. As was typical during its date of construction, the exterior is sheathed in asbestos siding. The building retains its original one-over-one wood double hung windows, wood and glass entry door and interior brick chimney flue (Figure 139).

This house is an example of a mid-twentieth century in-fill building constructed in the Village of Falmouth. The building has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 139. View of 119 Washington Street (VDHR #089-0067-0050), South Elevation.

House (VDHR #089-0067-0051), 125 Washington Street, 1920

The Craftsman-style bungalow features a one-story, three-bay hipped roof porch with square support posts and a wooden railing on a brick pier foundation. The building retains its original windows and includes four-over-one and three-over-one double hung wood sashes. The entire structure is clad in weatherboard siding and rests on a poured concrete foundation. Two interior brick chimneys are present and a shed roof addition has been constructed onto the west elevation (Figure 140).

This house is a good example of an early twentieth century constructed in the Village of Falmouth. The building has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 140. View of 125 Washington Street (VDHR #089-0067-0051), South Elevation.

Service Station/Restaurant (VDHR #089-0067-0064), 114 West Cambridge Street, 1920

The building at 114 West Cambridge Street was originally a service station constructed ca. 1920 (VDHR Archives) and later converted to a restaurant. The structure is located on the east side of West Cambridge Street with a paved parking area on three sides, and a wood paling fence at the rear which camouflages a stone retaining wall. The retaining wall supports a steep embankment that leads up to US Route 1 (Figure 141).

The general shape of the building is rectangular, with a front gable and rear cross-gable wing. The front of the structure was originally a porte-cochere, which has since been enclosed. The structure is constructed of cinder block with a wood shaker shingle roof and a central interior stucco chimney. The front door is flanked by two three-pane fixed sash windows, while the northern and southern elevations feature nine-light wood windows. The wooden paling fence enclosing a trash dumpster and storage area along the southern elevation, and a temporary carport has been placed adjacent to the northern elevation are the only major detractors to the building.

This building is an example of an early twentieth century commercial building constructed in the Village of Falmouth. The building has retains some of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 141. View of 114 West Cambridge Street (VDHR #089-0067-0064), Facing Northeast.

Glover Enterprises (VDHR #089-5090), 97 Cambridge Street, 1927

The commercial building at 97 Cambridge Street is a converted front-gable bungalow located on the northwest corner of the busy intersection of Butler Road and Cambridge Street. Though the one-and-a-half-story building retains its weatherboard siding, concrete foundation and windows, the integrity has been compromised by the addition of the asphalt parking lot, the widening of the intersection and the incorporation of modern frame sheds that extend from the side elevation. The house also no longer serves its original function (Figure 142).

This house is a typical example of an early-twentieth century building constructed north of the main core of the Village of Falmouth. The building has lost most of its historic architectural integrity and because of its alterations and because it is constructed of common building materials and is a common type, the house is not eligible for individual listing on the NRHP, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should no longer be considered part of the Falmouth Historic District as it is separated from the cohesive and intact core of the district by modern development and a busy intersection.*



Figure 142. View of Glover Enterprises (089-5090) 97 Cambridge Street, South Elevation.

House (VDHR #089-0067-0068), 100 Cambridge Street, 1920

The dwelling at 100 Cambridge Street (089-0067-0068) is located on the east side of Cambridge Street, approximately 50 feet north of Butler Road. The structure is a two-story, three bay frame building with brick foundation and a low-pitched side-gable roof. The hipped-roof porch extends across the front elevation and is supported by turned columns with embellished roof supports.

This structure was erected ca. 1920 (VDHR Archives), and contains elements of the Queen Anne farmhouse style which was popular at the time, such as the turned columns and embellished woodwork on the porch and the two-over-two double hung wood sash windows. A white picket fence encircles the property. The eastern elevation sports a two-story flat roofed addition and a one-story, two-bay shed addition (Figures 143 and 144). There are four windows on the southern elevation and two on the northern elevation of the two-story addition.

This house is a good example of an early twentieth century constructed in the Village of Falmouth. The building is well maintained and has retained much of its historic architectural integrity. The dwelling is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 143. View of 100 Cambridge Street (VDHR #089-0067-0068), West Elevation.



Figure 144. View of 100 Cambridge Street (VDHR #089-0067-0068), Facing Southeast.

Store (VDHR #089-0067-0115), Cambridge Street

The remains of a store located on the east side of Cambridge Street, just south of 118 Cambridge Street, are in a state of deterioration. Along the north elevation is a deep ravine and stream bed. The one-story structure is composed of concrete block foundation, asbestos siding and a seamed metal front gable roof. Exposed rafter ends are visible under the northern and southern eaves. The windows of the building are missing or boarded over (Figure 145).

This store is a typical example of an early-twentieth century building constructed north of the main core of the Village of Falmouth. The building has lost most of its historic architectural integrity and because of its deterioration and because it is constructed of common building materials and is a common type, is not eligible for individual listing on the NRHP, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should no longer be considered part of the Falmouth Historic District as it is separated from the cohesive and intact core of the district by modern development and a busy intersection and because of its deteriorated state.*



Figure 145. View of Commercial Building (VDHR #089-0067-0115), Cambridge Street, Facing Southeast.

House (VDHR #089-0067-0116), 128 Cambridge Street, ca. 1920

The dwelling at 128 Cambridge Street is a vernacular L-shaped farmhouse located on the east side of Cambridge Street. The two-story frame structure is clad in vinyl siding, but retains its two-over-two double hung wood sash windows. There are two interior end chimneys, one in the north elevation and one in the east. A full-width porch extends from the west elevation with a hipped roof supported by turned wood posts on a wood railing. A one-story addition extends from the east and northern elevations, turning the original L-shape into a square. The addition appears to be an enclosed porch with a row of eight two-over-two windows on the north elevation (Figure 146).

This house is a typical example of an early-twentieth century farmhouse constructed north of the main core of the Village of Falmouth. The building has retained some of its historic architectural integrity; however, because of its alterations and its common building materials and type, the house is not eligible for individual listing on the NRHP, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, that this resource should no longer be considered part of the Falmouth Historic District as it distance from the cohesive and intact core of the district and the presence of vacant lots between does not lend itself to inclusion.*



Figure 146. View of 128 Cambridge Street (VDHR #089-0067-0116), Facing Southeast.

House (VDHR #089-0067-0117), 133 Cambridge Street, 1940

The dwelling at 133 Cambridge Street is a mid-twentieth century bungalow clad in weatherboard siding with a raised poured concrete foundation. Original elements still extant include wood shingles on the porch as well as the tapered square wood columns on brick piers and three-over-one double hung wood sash windows. A single central interior brick chimney is also present (Figure 147).

This house is a good example of an early-twentieth century building constructed north of the main core of the Village of Falmouth. The building has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, that this resource, though in good condition and has intact historic architectural, should no longer be considered part of the Falmouth Historic District as it distance from the cohesive and intact core of the district and the presence of vacant lots between does not lend itself to inclusion. However, because of its historic architectural integrity, the building should come under special consideration in the planning process and appropriate preservation action taken for its survival.*



Figure 147. View of 133 Cambridge Street (VDHR #089-0067-0117), Facing Southwest.

House (VDHR #089-0067-0118), 139 Cambridge Street, 1917

The dwelling at 139 Cambridge Street is a two-story American Foursquare-style house located on the west side of Cambridge Street. The house is a frame structure with a hipped roof covered in standing seam metal and sits on a poured concrete foundation. A three-bay porch extends from the east elevation, covered with a hipped roof supported by tapered square wood posts on brick piers. The building has been heavily altered including the addition of vinyl siding and one-over-one vinyl replacement window throughout. A one-story hipped roof addition extends from the west elevation, along with a shed roof addition (Figure 148).

This house is a typical example of an early-twentieth century building constructed north of the main core of the Village of Falmouth. The building has lost much of its historic architectural integrity, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, that this resource should no longer be considered part of the Falmouth Historic District as it distance from the cohesive and intact core of the district and the presence of vacant lots between does not lend itself to inclusion.*



Figure 148. View of 139 Cambridge Street (VDHR #089-0067-0118), Facing Northwest.

House (VDHR #089-0067-0119), 141 Cambridge Street

This bungalow is a one-story frame house clad in vinyl siding and constructed on a concrete block foundation. The hipped roof is covered in asphalt shingles, and there is a single interior brick chimney. The windows appear to be original one-over-one double hung wood sash. The front porch, which is on the northern elevation, is supported by square wood posts which rest on brick piers. The original tapered posts and railing have been replaced with pressure treated lumber. The eaves on all four elevations feature exposed rafter ends (Figure 149).

This house is a typical example of an early-twentieth century building constructed north of the main core of the Village of Falmouth. The building has retained some of its historic architectural integrity; however, because of its alterations and its common building materials and type, the house is not eligible for individual listing on the NRHP, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, that this resource should no longer be considered part of the Falmouth Historic District as it distance from the cohesive and intact core of the district and the presence of vacant lots between does not lend itself to inclusion.*



Figure 149. View of 141 Cambridge Street (VDHR #089-0067-0119), Facing Northwest.

House (VDHR #089-0067-0120), 143 Cambridge Street, ca. 1930

The dwelling at 143 Cambridge Street is a one-story frame house clad in aluminum siding and rests on a concrete block foundation. The side gable roof is covered in asphalt shingles, and there is a single interior end brick chimney. The windows are one-over-one double hung wood sash. The front porch, located on the east elevation, has exposed rafter ends and a hipped roof supported by tapered wood posts which rest on brick piers. A shed addition extends from the west elevation (Figure 150).

This house is a typical example of an early-twentieth century building constructed north of the main core of the Village of Falmouth. The building has retained some of its historic architectural integrity; however, of its common building materials and type, the house is not eligible for individual listing on the NRHP, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, that this resource should no longer be considered part of the Falmouth Historic District as it distance from the cohesive and intact core of the district and the presence of vacant lots between does not lend itself to inclusion.*



Figure 150. View of 143 Cambridge Street (VDHR #089-0067-0120), Facing Southwest.

House (VDHR #089-5221), 145 Cambridge Street, ca. 1930

This bungalow, located on the west side of Cambridge Street, is a one-and-a-half-story frame front gable house clad in asbestos siding, has an interior brick chimney flue and rests on a poured concrete foundation. Original architectural features that are characteristically typical of bungalows include three-over-one double hung wood sash windows and the front porch, which incorporates tapered wood posts on brick piers. A bulkhead cellar entrance is located on the southern elevation and a one-story ell has been added to the rear of the dwelling (Figure 151) Unlike the main block of the house, the addition is sheathed in wood shingles. To the southwest of the dwelling is a cinder block garage with a roll up door and a flat roof.

This house is a typical example of an early-twentieth century building constructed north of the main core of the Village of Falmouth. The building has retained some of its historic architectural integrity; however, of its common building materials and type, the house is not eligible for individual listing on the NRHP, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, that this resource should no longer be considered part of the Falmouth Historic District as it distance from the cohesive and intact core of the district and the presence of vacant lots between does not lend itself to inclusion.*



Figure 151. View of 145 Cambridge Street (VDHR #089-5221), Facing Northwest.

House (VDHR #089-0067-0121), 147 Cambridge Street, ca. 1930

The dwelling at 147 Cambridge Street is a ca. 1930 Craftsman-style house clad in weatherboard siding and resting on a concrete foundation. The main entrance is located on the east elevation and is flanked by sets of one-over-one double hung wood sash windows that appear to be original to the structure. The windows on the dormer that projects from the hipped roof have been boarded over. A single central interior brick chimney flue has been incorporated into the design of the building (Figure 152). The front porch is characteristic of the Craftsman style and has tapered wood support posts on brick piers. A porch has also been added to the west elevation, with a shed roof resting on concrete block piers.

This house is a typical example of an early-twentieth century building constructed north of the main core of the Village of Falmouth. The building has retained some of its historic architectural integrity; however, because of its alterations and its common building materials and type, the house is not eligible for individual listing on the NRHP, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, that this resource should no longer be considered part of the Falmouth Historic District as it distance from the cohesive and intact core of the district and the presence of vacant lots between does not lend itself to inclusion.*



Figure 152. View of 147 Cambridge Street (VDHR #089-0067-0121), Facing Northwest.

Store (VDHR #089-0067-0122), Cambridge Street, ca. 1930

This store, located on the west side of Cambridge Street, just south of 147 Cambridge Street, appears to be contemporary with the surrounding houses. The building is constructed of concrete blocks on a concrete block foundation, with a parapet roof and a hipped roof porch on the east elevation. The porch has been enclosed with a brick half wall and single pane windows (Figure 153).

This store is a typical example of an early-twentieth century commercial building constructed north of the main core of the Village of Falmouth. The building is presently in a deteriorated state, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, that this resource should no longer be considered part of the Falmouth Historic District as it distance from the cohesive and intact core of the district and the presence of vacant lots between does not lend itself to inclusion.*



Figure 153. View of Store South of 147 Cambridge Street (VDHR #089-0067-0122), Facing Southwest.

House (VDHR #089-5222), 153 Cambridge Street, ca. 1940

The dwelling is a one-story frame house clad in aluminum siding and constructed on a concrete block foundation. This side gable-roofed house has been altered significantly including the addition of the siding and boxing in the gable end returns. The windows are six-over-six double hung replacement windows and a shed-roofed ell has been added to the north elevation (Figure 154).

This house is a typical example of an early-twentieth century building constructed north of the main core of the Village of Falmouth. The building has lost most of its historic architectural integrity though its alterations. It is a common building type constructed of common materials and therefore is not eligible for individual listing on the NRHP. The building is included as a resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should no longer be considered part of the Falmouth Historic District as it distance from the cohesive and intact core of the district and the presence of vacant lots between does not lend itself to inclusion.*



Figure 154. View of 153 Cambridge Street (VDHR #089-5222), Facing Northwest.

House (VDHR #089-0067-0123), 157 Cambridge Street, ca. 1940

The dwelling at 157 Cambridge Street is a two-story American Foursquare house located on the west side of Cambridge Street. The house is frame with a hipped roof covered in asphalt shingles with a poured concrete foundation. The entire building is clad in vinyl siding. A single-bay porch is located at the entry and consists of a gabled-roof with a pediment and is supported by square wood posts with a wood railing. Windows are one-over-one vinyl replacement throughout. A one-bay shed roof addition extends from the west elevation (Figure 155).

This house is a typical example of an early-twentieth century building constructed north of the main core of the Village of Falmouth. The building has retained little of its historic architectural integrity. Therefore, because of its alterations and its common building materials and type, the house is not eligible for individual listing on the NRHP, but is included as a resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should no longer be considered part of the Falmouth Historic District as it distance from the cohesive and intact core of the district and the presence of vacant lots between does not lend itself to inclusion.*



Figure 155. View of 157 Cambridge Street (VDHR #089-0067-0123), Facing Southwest.

House (VDHR #089-5223), 163 Cambridge Street, ca. 1930

The dwelling at 163 Cambridge Street is a Craftsman-style house located on the west side of Cambridge Street. The one-and-a-half-story frame house is clad in weatherboard siding and is constructed on a cinder block foundation. The hipped roof is covered in asphalt shingles, and all but two of the first story windows are one-over-one vinyl replacement windows. The hipped-roofed dormer on the east elevation retains its original three-over-one double hung wood sash windows. The front porch is supported by tapered wood posts on brick piers, also original to the building. An interior brick and an exterior cinder block chimney flue are present. The west elevation features a partially enclosed hipped roof porch with square wood support columns (Figure 156). The only associated outbuilding, a garage, is located at the end of the driveway and is constructed of cinder block with a gable roof, which is collapsing.

This house is a typical example of an early-twentieth century building constructed north of the main core of the Village of Falmouth. The building has retained some of its historic architectural integrity; however, because of its alterations and its common building materials and type, the house is not eligible for individual listing on the NRHP, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, that this resource should no longer be considered part of the Falmouth Historic District as it distance from the cohesive and intact core of the district and the presence of vacant lots between does not lend itself to inclusion.*



Figure 156. View of 163 Cambridge Street (VDHR #089-5223), Facing Northwest.

House (VDHR #089-0067-0038), 106 King Street, ca. 1920

The dwelling at 106 King Street is a bungalow-style building located on the northeast corner of the intersection of King and Madison Streets. The front porch has been enclosed with a brick veneered half-wall and single pane sliding windows. The porch roof is hipped and covered in asphalt shingles, as is the main roof. Alterations to the building include the one-over-one double hung wood sash replacement windows and a small shed addition off the east elevation (Figure 157).

This house is an example of an early twentieth century building constructed in the Village of Falmouth. The building has lost much of its historic architectural integrity, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District due to its proximity within the district.*



Figure 157. View of 106 King Street (VDHR #089-0067-0038), Facing Northwest.

Basil Gordon House (VDHR #089-0067-0010), 303 King Street, ca. 1930s

The dwelling at 303 King Street is a two-story brick building located on the north side of King Street, across from Falmouth Beach Park (Figure 158). The property was the site of the original home of Basil Gordon, a wealthy Falmouth merchant and reportedly America's first millionaire and was constructed as a three-story Georgian-style house with a large hall and winding staircase

constructed of “eight hundred pieces of the finest kind of lumber”. Two large rooms on either side of the hall contained fireplaces and the basement was used as servant’s quarters. Nelson Payne tore down the original house in the early 1930’s and constructed the present building on its ruins. During the demolition, a floorboard was found inscribed with the names of the owner, builder, and construction workers. The grand staircase was removed piece by piece and sold to Fairfax Harrison for use in his home in Fauquier County (Heflin 1936).

The house, as presently constructed, is a five-bay Colonial Revival-style dwelling with a side gable roof. Alterations to the house include vinyl replacement windows and the addition of a metal front door. The entry is flanked by single-pane sidelights. A hipped roof porch projects from the south elevation, supported by Doric columns and a wood railing (Figure 159). A porch has been added to the north elevation and wraps around to the east side. A hipped roof covers the majority of the porch, supported by round columns with capitals (Figure 160). A stone well is visible underneath the northwestern corner of the porch.

This house is a good example of an early twentieth century constructed in the Village of Falmouth. The building is well maintained and has retained much of its historic architectural integrity. The dwelling is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*

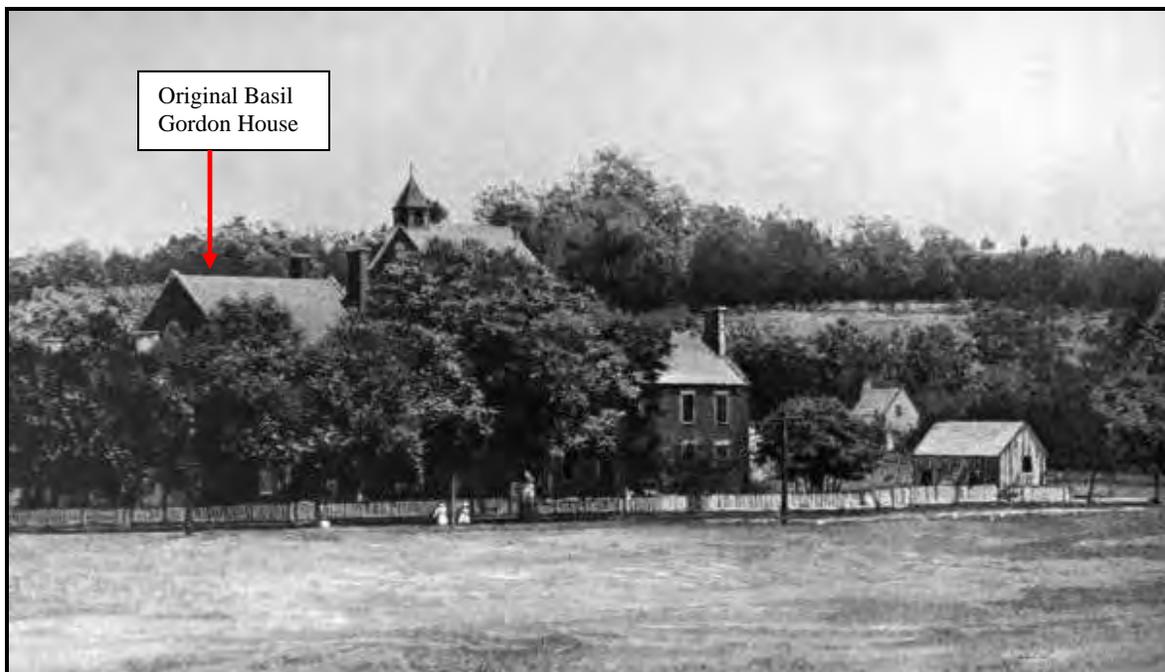


Figure 158. View of the Original Basil Gordon House at 303 King Street, ca. 1860 (illustration in *Autobiography: Memories and Experiences of Moncure Daniel Conway*, 1904).



Figure 159. View of the Basil Gordon House (VDHR #089-0067-0010), 303 King Street, South Elevation.



Figure 160. View of the Basil Gordon House (VDHR #089-0067-0010), 303 King Street, North Elevation.

House (VDHR #089-0067-0089), 38 Butler Road, 1930

The dwelling at 38 Butler Road (089-0067-0089) is a one-story bungalow-style building on a gently sloping lot at the southwest corner of the intersection of Butler Road and Colonial Avenue. The resource appears to have been well maintained and minimally altered. The house exhibits typical bungalow detailing such as the wide, overhanging eaves with exposed rafters and the one-story, two-bay front porch with tapered wooden support posts. The windows are three-over-one wood sash double hung windows and weatherboard siding in the porch gable (Figures 161 and 162).

The single exterior end chimney on the western elevation is constructed of the same cut stone as the rest of the house and is flanked by two small three-pane fixed sash windows set high in the wall. Full-sized windows on the western elevation consist of one mullioned and two single three-over-one double-hung wood sash windows, and three small three-pane fixed sash windows at the basement level.

This house is a good example of an early twentieth century dwelling constructed in the Village of Falmouth. The building is well maintained and has retained much of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The house has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 161. View of 38 Butler Road (VDHR #089-0067-0089), North Elevation.



Figure 162. View of 38 Butler Road (VDHR #089-0067-0089), Facing Southeast.

House (VDHR #089-5092), 55 Butler Road, 1925

The dwelling at 55 Butler Road is located on the north side just east of the Falmouth Baptist Church. A survey of the structure conducted by VDOT in 2005 describes the dwelling as a gambrel roof house set upon a raised poured concrete foundation, with a construction date of ca. 1925 (VDHR Archives). At the time of the VDOT survey, the house was undergoing renovations, which were still ongoing at the time of this survey.

Since 2005, the gambrel roof at the center of the structure has been replaced with a pyramidal roof, and an addition has been built at the western edge of the northern elevation. An exposed section of the façade surrounding the front door reveals that at least this portion of the original wood frame construction remains intact. The remainder of the building is clad in modern vinyl siding with modern windows. As a result of the extensive remodeling of the house, the historic shape and structure of the dwelling cannot be extrapolated from the multiple additions. At least one fundamental element of the original structure, the gambrel roof, has been definitively removed, and the remainder of the historic fabric of the house most likely has been removed or significantly altered as well (Figure 163).

This house is a typical example of an early-twentieth century farmhouse constructed north of the main core of the Village of Falmouth in a more rural area. The building has retained some of its historic architectural integrity; however, because of its alterations and its common building materials and type, the house is not eligible for individual listing on the NRHP, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its

original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should no longer be considered part of the Falmouth Historic District because its alterations are extensive and the former function of the dwelling as a farmhouse does not lend itself to the cohesive nature of the resources already within the proposed boundary.*



Figure 163. View of 55 Butler Road (VDHR #089-5092), South Elevation.

Falmouth Elementary School (VDHR #089-5091), 60 Butler Road, 1924

The building at 60 Butler Road is a Prairie-style brick institutional structure located on the south side of Butler Road in the St. Clair Brooks Memorial Park. The resource was originally constructed as the Falmouth Elementary School in 1924, but was later converted for use as the Stafford-Fredericksburg Park Authority. The original portion of the building is constructed of common-bond brick and a steeply pitched hipped roof. Additions to the building consist of east and west gable roof wings, with a one-story hipped roof addition to the south elevation of the original structure (Figure 164-165).

This school is a typical example of an early-twentieth century building. The building has retained some of its historic architectural integrity; however, because of its alterations and its common building materials and type, the school is not eligible for individual listing on the NRHP, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district

boundary suggested by VDOT. *In the opinion of CRI, that this resource should no longer be considered part of the Falmouth Historic.*



Figure 164. View of Falmouth Elementary School (VDHR #089-5091), 60 Butler Road, Southwest Elevation.



Figure 165. View of Falmouth Elementary School (VDHR #089-5091), 60 Butler Road, Northeast Elevation.

House (VDHR #089-0067-0106), 108 Forbes Street, 1940

The dwelling at 108 Forbes Street is a one-story, frame dwelling clad in vinyl siding and constructed on a poured concrete foundation. The pyramidal roof is covered in asphalt shingles, with a gable roof projecting from the northern elevation to cover the front porch. A large picture window to the left of the front door is flanked by two-over-two double hung wood sash windows. Two such windows are also located to the right of the front door. The front porch is supported by wrought iron posts (Figure 166).

This house is an example of an early twentieth century dwelling constructed in the Village of Falmouth. The building retains some of its historic architectural integrity and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The house has also been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 166. View of 108 Forbes Street (VDHR #089-0067-0106), North Elevation.

House (VDHR #089-0067-0107), 109 Forbes Street, 1932

The dwelling at 109 Forbes Street is a one-and-a-half-story, Craftsman-style house located on the north side of Forbes Street. The primary façade faces south and features a one-story, three-bay porch with square support posts and a wooden railing on a brick pier foundation. Two three-over-one double hung wood sash windows flank the front door and a hipped-roof dormer extends from the pyramidal roof (Figure 167). The eastern elevation features three three-over-one double hung wood sash windows. The windows are original, however the porch support posts appear to have been replaced and the eaves have been boxed in. Alterations to the house include the addition of vinyl siding.

This house is a good example of an early twentieth century constructed in the Village of Falmouth. The building is well maintained and has retained much of its historic architectural integrity. The dwelling is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 167. View of 109 Forbes Street (VDHR #089-0067-0107), Facing Northwest.

House (VDHR #089-0067-0109), 111 Forbes Street, 1924

The dwelling at 111 Forbes Street (089-0067-0109) is a one-story gable-front Bungalow-style house located on the north side of Forbes Street. The house is clad in vinyl siding and rests on a raised cinder block foundation. The primary façade of the dwelling faces south, and features a closed-in porch with large, modern sliding windows. The remainder of the windows on the house are six-over-six double hung wood sash windows, with three each on the east and west elevations. The main entrance to the structure is fronted by two sets of steps leading up to a deck, all constructed of pressure treated lumber. There is one brick central interior chimney and one concrete block interior end chimney along the northern elevation (Figure 168).

This house is an example of an early twentieth century constructed in the Village of Falmouth. The building has retained little of its historic architectural integrity. The dwelling is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 168. View of 111 Forbes Street (VDHR #089-0067-0109), Facing Northeast.

House (VDHR #089-0067-0072), 113 Forbes Street, 1920

The dwelling at 113 Forbes Street is an American Foursquare house located on the north side of Forbes Street constructed in 1920. The two-story frame building is constructed on a concrete block foundation and has a low-pitched, standing seam metal hipped roof. The entire structure is clad in vinyl siding, and windows are two-over-two double hung wood sash throughout. The one-story, three-bay screened-in porch has a hipped, standing seam metal roof with cornice line supported by vernacular Doric square wood columns. Poured concrete steps and a wrought iron balustrade lead to the porch (Figures 169 and 170).

This house is a good example of an early twentieth century constructed in the Village of Falmouth. The building is well maintained and has retained much of its historic architectural integrity. The dwelling is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 169. View of 113 Forbes Street (VDHR #089-0067-0072), South Elevation.



Figure 170. View of 113 Forbes Street (VDHR #089-0067-0072), Facing Northeast.

House (VDHR #089-0067-0110), 114 Forbes Street, 1936

The dwelling at 114 Forbes Street is a one-and-a-half-story, Craftsman-style house located on the south side of Forbes Street. The primary façade faces north and features a one-story, three-bay porch with tapered square support posts that rest on brick piers. Two mullioned, 3/1 double hung wood sash windows flank the front door and a hipped-roof dormer extends from the asphalt-shingled side gable roof. The house is clad in weatherboard siding, and there is a single interior end brick chimney on the west elevation. The foundation is concrete block (Figure 171).

The frame garage to the southeast of the dwelling is clad in weatherboard siding with a roll up door on the north elevation. The gable roof is covered in asphalt shingles (Figure 172).

This house is a good example of an early twentieth century constructed in the Village of Falmouth. The building is well maintained and has retained much of its historic architectural integrity. The dwelling is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 171. View of 114 Forbes Street (VDHR #089-0067-0110), Facing Southwest.



Figure 172. View of Garage at 114 Forbes Street (VDHR #089-0067-0110), North Elevation.

House (VDHR #089-0067-0111), 115 Forbes Street, 1935

The dwelling at 115 Forbes Street is a Craftsman-style bungalow located on the northern side of Forbes Street at the intersection of Forbes and Carter Streets. The primary façade faces south, and features a three-bay front porch with a brick foundation and brick supports. The windows appear original, with a large picture window to the left of the front door and three 3/1 double hung wood sash mullioned windows to the right of the front door. The side gable roof features a front gabled dormer with a six-pane fixed sash window, and triangular knee braces. Vinyl siding covers the entire house (Figure 173).

Secondary resources on the property include a one-story frame shed with a standing seam metal roof and a one-story frame workshop, both clad in vinyl siding. The workshop rests on a poured concrete foundation and has a standing seam metal gable roof.

This house is a good example of an early twentieth century constructed in the Village of Falmouth. The building is well maintained and has retained much of its historic architectural integrity. The dwelling is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 173. View of 115 Forbes Street (VDHR #089-0067-0111), South Elevation.

House (VDHR #089-0067-0096), 309 Colonial Avenue, 1935

The dwelling at 309 Colonial Avenue is a ca. 1935 bungalow-style house located on the west side of Colonial Avenue on a sloping lot. The house is a one-and-a-half-story frame dwelling, clad in vinyl siding and resting on a poured concrete foundation. A dormer projects from the south slope of the gable roof, and contains two one-over-one double hung wood sash windows. A one-story, three-bay front porch with a hipped roof extends from the east elevation. The support posts, typical of the bungalow style, are tapered square wood posts which rest on brick piers. Two one-over-one double hung wood sash windows are located on either side of the front door, and two three-over-one double hung wood sash windows are located in the gable end above the porch roof. The dwelling also features a central interior brick chimney (Figure 174).

This house is a good example of an early twentieth century constructed in the Village of Falmouth. The building is well maintained and has retained much of its historic architectural integrity. The dwelling is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 174. View of 309 Colonial Avenue (VDHR #089-0067-0096), Facing Southwest.

House (VDHR #089-0067-0091), 206 Carter Street, 1930

The dwelling at 206 Carter Street is a Cape Cod-style house located on the east side of Carter Street. This one-and-a-half-story house is constructed of stone on a poured concrete foundation. The side gable roof has two dormers, located on the front slope, clad in vinyl siding. There is a central interior brick chimney. The front porch is two bays wide with a gable roof, tapered wood support columns, stone steps and a concrete floor. Aluminum awnings cover all of the windows, which are one-over-one double hung wood sash. A one-story addition to the east elevation of the building has a gable roof and is clad in vinyl siding (Figures 175 and 176).

This house is a good example of an early twentieth century constructed in the Village of Falmouth. The building is well maintained and has retained much of its historic architectural integrity. The dwelling is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in both the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 175. View of 206 Carter Street (VDHR #089-0067-0091), West Elevation.



Figure 176. View of 206 Carter Street (VDHR #089-0067-0091), Facing Southeast.

House (VDHR #089-0067-0124), 104 Rowser Road, c. 1940

The dwelling at 104 Rowser Road is a ca. 1940 Cape Cod-style house located on the east side of Rowser Road. The 1½-story frame house is clad in weatherboard siding and rests on a poured concrete foundation. The side gable roof is covered in asphalt shingles, and the windows appear to be original one-over-one double hung wood sash. The front door, on the west elevation, features a pedimented front stoop with a poured concrete step. A one-story addition extends from the north elevation (Figure 177).

Just north of the dwelling is a workshop with a shed roof covered in asphalt shingles. The building is clad in vinyl siding and has wooden steps leading to the door on the south elevation. A one-over-one double hung wood sash window is located to the left of the front door.

This house is a typical example of an early-twentieth century farmhouse constructed north of the main core of the Village of Falmouth in a more rural area. The building has retained some of its historic architectural integrity; however, because of its alterations and its common building materials and type, the house is not eligible for individual listing on the NRHP, but is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067). The building has not been included in either the 2006 NRHP nomination update or the proposed historic district boundary suggested by VDOT. ***In the opinion of CRI, this resource should no longer be considered part of the Falmouth Historic District because its alterations are extensive and the former function of the dwelling as a farmhouse does not lend itself to the cohesive nature of the resources already within the proposed boundary.***



Figure 177. View of 104 Rowser Road (VDHR #089-0067-0124), West Elevation.

Figure 178. Architectural Resources within the Project Area, 1945-1960

1945-1960: End of WWII to 1960

Buildings constructed during this time in Falmouth tended to be constructed on the east side of the village along Colonial Avenue and Butler Road. Most buildings, whether dwellings or commercial, are brick or frame with brick veneer.

Commercial Building (VDHR #089-0067-0083), 7 Butler Road, 1954

The commercial building at 7 Butler Road is a Colonial Revival-style brick structure located on the northeast corner of the intersection of Butler Road and Cambridge Street (US Route 1).

The original section of the building consists of a two-story building with two exterior end brick chimneys on both the east and west elevations, three gable-roof dormers on the south elevation, a pedimented front door and six-over-six double hung wood sash windows. A 1½-story wing on the east elevation appears to be part of the original structure as well, and contains a single dormer and first story window on the south elevation (Figures 179 and 180).

The original structure most likely included a matching wing on the west elevation; however, it has since been modified to connect an extensive addition to the west elevation. The addition consists of a four-bay, two-story building with the main façade facing west. There are three dormers in the gable roof and four one-over-one double hung vinyl replacement windows on the first story, flanking a pedimented doorway. A porte-cochere for drive-through banking has been added to the north elevation of this addition.

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. ***In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.***



Figure 179. View of 7 Butler Road (VDHR #089-0067-0083), South Elevation.



Figure 180. View of 7 Butler Road (VDHR #089-0067-0083), Facing North.

Stafford Christian Academy (VDHR #089-0067-0084), 15 Butler Road, 1950

The building at 15 Butler Road is a Colonial Revival-style commercial structure located on the north side of Butler Road. The southern and eastern portions of the property are occupied by paved parking areas, with a playground, sand box, and loading dock in the northern portion. A rail fence delineates the eastern property boundary, and a poured concrete ramp extends the length of the south elevation (Figure 181).

This building was originally constructed as a post office, and was later converted to a school. The mansard roof is covered with asphalt shingles and features boxed eaves. The entire building is constructed of common bond brick with quoin corners. The steeple was added after the building was converted to a Christian Academy (Figure 181).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 181. View of 15 Butler Road (VDHR #089-0067-0084), Facing Northeast.

Commercial Building (VDHR #089-0067-0085), 30 Butler Road, ca. 1960

The commercial building at 30 Butler Road is a Colonial-Revival style frame building located on the southeast corner of the intersection of Butler Road and Carter Street. A paved parking area occupies the western portion of the property, and a concrete parking area occupies the north (Figure 182).

The two-story building has a gambrel roof covered in asphalt shingles is clad in asbestos siding on the second floor with brick veneer on the first floor. The northwest corner of the building has been cut out for a display window. A canvas awning extends from the east elevation. Windows are six-over-six double hung wood sash on the second floor, and plate glass display windows on the first floor (Figure 182).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should not retain its status as a contributing resource within the Falmouth Historic District due to its age and alterations.*



Figure 182. View of 30 Butler Road (VDHR #089-0067-0085), West Elevation.

House (VDHR #089-0067-0086), 31 Butler Road, 1945

The dwelling at 31 Butler Road is a ca. 1945 Colonial Revival-style located on the northeastern corner of the intersection of Butler Road and Carter Street. The one-and-a-half-story house is constructed of common-bond brick with vinyl siding in the front and dormer gables. The cross-gable roof is covered with asphalt shingles, and the windows are two-over-two double hung sash windows with a picture window on the south elevation. The west elevation contains a roll-up garage door and an exterior end brick chimney (Figures 183 and 184).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 183. View of 31 Butler Road (VDHR #089-0067-0086), South Elevation.



Figure 184. View of 31 Butler Road (VDHR #089-0067-0086), West Elevation.

House (VDHR #089-0067-0087), 33 Butler Road, 1949

The dwelling at 33 Butler Road is a Modernistic-style house located on the north side of Butler Road. The front yard slopes down to the street, with a retaining wall of concrete pavers forming a curved terrace. The one-story house is constructed of masonry and covered with stucco. The low-pitched side gable roof is covered with asphalt shingles, and the windows are one-over-one double hung aluminum windows with a picture window on the south elevation. There is a sidelight of two rows of glass blocks to the left of the front door. The west elevation contains an exterior end masonry chimney (Figure 185).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 185. View of 33 Butler Road (VDHR #089-0067-0087), South Elevation.

House VDHR #089-0067-0088), 34 Butler Road, 1952

The dwelling at 34 Butler Road (089-0067-0088) is a Minimal Traditional Modern-style house located on the south side of Butler Road. The one-story house is constructed of brick, with a cross gable roof covered in asphalt shingles. The windows are one-over-one double hung wood sash windows with a picture window on the north elevation. There is a single central interior brick chimney. An addition has been built onto the west elevation and features a secondary access door on the north elevation, along with basement access and a sliding glass door on the south elevation (Figure 186).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 186. View of 34 Butler Road (VDHR #089-0067-0088), Northeast Elevation.

Falmouth Baptist Church (VDHR #089-0067-0092), 302 Colonial Avenue, 1955

The Falmouth Baptist Church at 302 Colonial Avenue is a U-shaped Greek Revival-style church located at the northeastern corner of the intersection of Colonial Avenue and Butler Road. The original portion of the church was constructed in 1955, with an addition built in 1967. The two wings of the building are separated by a grass courtyard, and the property is surrounded by paved parking areas.

The church is constructed of common bond brick. Windows are 8/8 and six-over-six double hung wood sash throughout. Elements such as the fan lights in the gable ends, boxed cornices, and segmental pediments are typical of the Colonial Revival Style (Figures 187 and 188).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 187. View of Falmouth Baptist Church (089-0067-0092), 302 Colonial Avenue, Facing Southeast.



Figure 188. View of Falmouth Baptist Church (089-0067-0092), 302 Colonial Avenue, Facing Northwest.

House (VDHR #089-0067-0093), 303 Colonial Avenue, 1948

The dwelling at 303 Colonial Avenue is a Colonial Revival-style Cape Cod-style house located at the northwest corner of the intersection of Colonial Avenue and Butler Road. The front yard is terraced, and a paved parking area borders Colonial Avenue on the eastern edge of the property. The 1½-story house is constructed of cut stone, with a side gable roof covered in asphalt shingles. The windows are one-over-one double hung wood sash. The primary façade faces Butler Road to the south, and features two gable roof dormers covered in vinyl siding. The front stoop is pedimented, with stone steps and wrought iron railings. There is a single exterior end stone chimney on the east elevation, along with a gable-roofed porch with square wood support posts. Aluminum awnings have been added to the porch. A shed roof dormer projects from the north elevation (Figure 189).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 189. View of 303 Colonial Avenue (VDHR #089-0067-0093), South Elevation.

House (VDHR #089-0067-0094), 305 Colonial Avenue, 1945

The dwelling at 305 Colonial Avenue is a Post Modern-style house located on the west side of Colonial Avenue. A brick retaining wall and wood paling fence extend the length of the southern edge of the property, and a paved driveway runs along the north elevation. A poured concrete walkway leads to the front door. The one-and-a-half-story house is constructed of brick, with a cross gable roof covered in asphalt shingles. The windows on the east elevation consist of one 8/8 double hung wood sash and one large single pane picture window. Brick steps lead up to a small porch with a concrete floor and wrought iron railing. There is a single exterior end brick chimney on the south elevation (Figure 190).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 190. View of 305 Colonial Avenue (VDHR #089-0067-0094), East Elevation.

House (VDHR #089-0067-0095), 307 Colonial Avenue, 1956

The dwelling at 307 Colonial Avenue is a Minimal Traditional-style house located on the west side of Colonial Avenue. A stone wall delineates the southern property boundary, and a gravel drive extends the length of the north elevation.

The one-and-a-half-story house is constructed of cut stone, with a cross gable roof covered in asphalt shingles. The windows are one-over-one double hung wood sash with a picture window on the east elevation. Stone steps lead to the small front porch, which has a stone floor and wrought iron railing. There is a single interior end stone chimney on the south elevation (Figure 191).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 191. View of 307 Colonial Avenue (VDHR #089-0067-0095), Facing Northwest.

House (VDHR #089-0067-0097), 310 Colonial Avenue, 1953

The dwelling at 310 Colonial Avenue (089-0067-0097) is a Ranch-style house located on the east side of Colonial Avenue. The one-story house is constructed of cut stone and vinyl siding, with a low-pitched side gable roof covered in asphalt shingles. The windows are one-over-one and four-over-four double hung wood sash with a picture window on the west elevation. Stone steps lead to the small front porch, which has a stone floor and wrought iron railing. There is a single exterior end stone chimney on the south elevation (Figure 192).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 192. View of 310 Colonial Avenue (VDHR #089-0067-0097), West Elevation.

House (VDHR #089-0067-0098), 311 Colonial Avenue, 1945

The house at 311 Colonial Avenue is a Cape Cod style cottage located on the west side of Colonial Avenue. The one-story frame dwelling is clad in vinyl siding and rests on a concrete block foundation. The side gable roof is covered in asphalt shingles. The primary façade faces east and features 8/8 double hung wood sash windows on either side of the front door, which features a pedimented porch stoop with a wrought-iron railing and balustrade. A second entrance is located on the eastern elevation of a small addition extending from the rear of the southern elevation. There is also a central interior brick chimney (Figure 193).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 193. View of 311 Colonial Avenue (VDHR #089-0067-0098), Facing Northwest.

House (VDHR #089-0067-0099), 313 Colonial Avenue, 1950

The dwelling at 313 Colonial Avenue is a Post Modern style house located on the west side of Colonial Avenue. The structure is a one story frame building clad in vinyl siding and resting on a poured concrete foundation. The primary façade faces east and features three six-over-six double hung wood sash windows. The front door is located at the northern end of the east elevation and features a single bay porch with a hipped roof, supported by wrought iron columns. The cross-gable roof is covered in asphalt shingles, and there is a central interior brick chimney (Figure 194).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 194. View of 313 Colonial Avenue (VDHR #089-0067-0099), East Elevation.

House (VDHR #089-0067-0100), 314 Colonial Avenue, 1955

The dwelling at 314 Colonial Avenue (089-0067-0100) is a Post Modern-style house located on the east side of Colonial Avenue. A gravel driveway extends the length of the southern edge of the property, leading to a temporary carport. The one-story house is constructed of brick, with a side gable roof covered in asphalt shingles. The windows are one-over-one double hung wood sash, and there is a picture window on the west elevation. Concrete steps lead up to a small porch with a concrete floor and wrought iron railing. There is a basement access door on the south elevation (Figure 195).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 195. View of 314 Colonial Avenue (VDHR #089-0067-0100), Facing Northeast.

House (VDHR #089-0067-0101), 316 Colonial Avenue, 1945

The dwelling at 316 Colonial Avenue (089-0067-0101) is a ca. 1945 Colonial Revival-style Cape Cod house located at the southeast corner of Colonial Avenue and Forbes Street. The one-and-a-half-story house is constructed of cut stone, with a side gable roof covered in asphalt shingles. The windows are one-over-one double hung wood sash. The primary façade faces Colonial Avenue to the west, and features two gable roof dormers covered in vinyl siding. The front stoop is concrete with no railings. There is a single exterior end stone chimney on the north elevation, along with a shed-roofed porch with square wood support posts (Figure 196).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 196. View of 316 Colonial Avenue (VDHR #089-0067-0101), West Elevation.

U.S. Route 1/U.S. Route 17 Bridge (VDHR #089-0067-0082), 1943

Resource 089-0067-0082 is a four lane concrete and steel bridge that crosses the Rappahannock River. The bridge was constructed between 1943 to replace an earlier bridge that had been washed away by a flood in the 1930s.

This bridge is a typical example of a mid-twentieth century bridge. The bridge is well maintained and is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 197. View of the US Route 1/US Route 17 Bridge (VHR #089-0067-0082), Facing Northeast.



Figure 198. View of Date Marker on the US Route 1/US Route 17 Bridge (VDHR #089-0067-0082), Facing Southwest.

House (VDHR #089-0067-0055), 111 Carter Street, 1955

The dwelling at 111 Carter Street (089-0067-0055) is a ca. 1955 Ranch-style house located on the north side of Butler Road. The one-story frame house is clad in vinyl siding, with a side gable roof covered in asphalt shingles. The windows are one-over-one double hung wood sash windows with a picture window on the south elevation. There are two interior end brick chimneys on the west elevation. The front stoop has brick steps with wrought iron balustrades. The north elevation features a three-bay porch with wood railings and wooden steps at each end (Figure 199).

The garage mirrors the style of the house. The original portion has a single roll up door on the west elevation. An addition to the north elevation has a shed roof and two roll up doors, along with a carport.

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update, but not the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 199. View of 111 Carter Street (VDHR #089-0067-0055), South Elevation.

House (VDHR #089-0067-0056), 115 Carter Street, 1939

The dwelling at 115 Carter Street is a ca. 1950 Post Modern-style house located on the north side of Carter Street. A paved driveway extends the length of the western edge of the property, and a concrete walkway leads to the front door. A brick retaining wall runs along the southern and western edge of the property.

The one-story house is constructed of brick and has elements of the Craftsman style, with a hipped roof and three-over-one double hung wood sash windows. The porch has a concrete floor and wrought iron supports. The roof is covered in asphalt shingles, and there is a single central interior brick chimney (Figure 200).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 200. View of 115 Carter Street (VDHR #089-0067-0056), South Elevation.

House (VDHR #089-0067-0058), 117 Carter Street, 1950

The dwelling at 117 Carter Street (089-0067-0058) is a Cape Cod-style cottage located on a gently sloping lot on the north side of Carter Street. The one-and-a-half-story house is clad in vinyl siding and rests on poured concrete foundation. The cross-gabled roof is covered in asphalt shingles, and there is a central interior brick chimney. The one-story two bay porch has been screened in, and the single visible window on the south elevation is 8/8 double hung wood sash. The two windows on the eastern elevation are one-over-one double hung wood sash (Figure 201).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 201. View of 117 Carter Street (VDHR #089-0067-0058), South Elevation.

House (VDHR #089-0067-0059), 119 Carter Street, 1941

The dwelling at 119 Carter Street is a ca. 1950 Colonial Revival-style Cape Cod house located on the north side of Carter Street, at the corner where Carter turns north. The one-and-a-half-story house is constructed of common-bond brick with a side gable roof covered with asphalt shingles. A one-story addition on the east elevation has a hipped roof. The windows are six-over-six double hung wood sash on the original section, and 8/8 double hung wood sash on the addition. The two dormers on the south elevation have 6-pane casement windows. There is an exterior end brick chimney on the east elevation. The back yard consists of a terraced, empty lot (Figure 202).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 202. View of 119 Carter Street (VDHR #089-0067-0059), South Elevation.

House (VDHR #089-0067-0090), 204 Carter Street, ca. 1950

The dwelling at 204 Carter Street is a ca. 1950 Post Modern house located on the east side of Carter Street, at the corner where Carter turns north. The two-story house is constructed of concrete block with a side gable roof covered with asphalt shingles. A one-story addition on the north elevation has a shed roof. The windows are multiple-light casement windows. The front porch has a shed roof supported by square wood posts, and is surrounded by a short brick wall. A wooden staircase on the exterior of the north elevation leads to the roof of the addition, which is enclosed by a wooden railing (Figure 203).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 203. View of 204 Carter Street (VDHR #089-0067-0090), West Elevation.

House (VDHR #089-0067-0061), 108 Gordon Street, 1950

The dwelling at 108 Gordon Street is a ca. 1950 pyramidal folk house located on the east side of Gordon Street. The house sits close to the street, with a small gravel parking area on the south side. A row of sheds and garages is located to the south of the parking area, terminating in a concrete block retaining wall at the southern edge of the property.

The two-story house is constructed of concrete block with a pyramidal roof covered with asphalt shingles. The windows are 8/8 double hung wood sash. The front porch has concrete steps at each end and a wrought iron railing. A wooden staircase on the exterior of the south elevation leads to a shed roofed deck on the east elevation (Figure 204).

The complex of outbuildings to the south of the main dwelling consists of a garage with a gable roof clad in vinyl siding, with a shed addition to the south elevation; and a workshop with a gable roof, vinyl siding, six-over-six double hung wood sash windows, and a shed addition to the north elevation (Figure 205).

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 204. View of 108 Gordon Street (VDHR #089-0067-0061), Facing Northeast.



Figure 205. View of Garage at 108 Gordon Street (VDHR #089-0067-0061), Facing Southeast.

House (VDHR #089-0067-0105), 106 Forbes Street, 1955

The dwelling at 106 Forbes Street is a ca. 1955 early Ranch-style house located on the south side of Forbes Street. The one-story house is constructed of brick, with stone veneer on the north elevation under the porch. The low-pitched cross gable roof is covered in asphalt shingles. The windows are one-over-one double hung wood sash. Stone steps lead to the small front porch, which is supported by square wood posts. There is a central interior brick chimney and an exterior end brick chimney on the east elevation. A small addition the south elevation is clad in vinyl siding, with a gable roof and a porch with a wood floor supported by square wood posts (Figure 206).

The garage is brick with a side gable roof and two roll up doors on the north elevation. A temporary carport has been placed immediately in front of the garage.

This building is an example of a mid-twentieth century building constructed in the Village of Falmouth. The building is well maintained is included as a contributing resource in the NRHP nomination for the Falmouth Historic District under its original 1970 boundaries (VDHR #089-0067) and also has been included in the 2006 NRHP nomination update and the proposed historic district boundary suggested by VDOT. *In the opinion of CRI, this resource should retain its status as a contributing resource within the Falmouth Historic District.*



Figure 206. View of 106 Forbes Street (VDHR #089-0067-0105), North Elevation.

VII. CONCLUSIONS AND RECOMMENDATIONS

In April and May of 2008, Cultural Resources, Inc. (CRI) conducted a Phase IA archaeological assessment and Phase I Reconnaissance Level Architectural Survey of 169.5 acres in the Village of Falmouth, Stafford County, Virginia. The survey was conducted on behalf of Stafford County for the development of a Redevelopment Master Plan.

CRI designed the survey to identify potential archaeological sites and all standing architectural resources present within the project area and to obtain sufficient information to make recommendations about the further research potential of each resource based on their potential eligibility to the National Register of Historic Places. To accomplish this, both documentary research and architectural survey were conducted in compliance with the National Historic Preservation Act of 1966 (NHPA-PL89-665), as amended, the Archaeological and Historic Preservation Act of 1974, Executive Order 11593, and relevant sections of 36CFR660-666 and 36CFR800. The preparation of this report and any recommendations concerning the potential eligibility of architectural resources identified during the survey were made with reference to the Advisory Council on Historic Preservation's (ACHP) *36 CFR Part 800: Protection of Historic Properties, Final Rule* (ACHP 2000); the Department of Interior's *36 CFR 60: National Register of Historic Places*; the Secretary of the Interior's *Standards and Guidelines for Archaeology and Historic Preservation*; *National Register Bulletin 15, How to Apply the National Register Criteria for Evaluation* (USDI 1981, 1983, 1991). Additionally, the preparation of this report follows guidelines published by the VDHR including: *Guidelines for Preparing Identification and Evaluation Reports for Submission pursuant to Sections 106 and 110, National Historic Preservation Act, Environmental Impact Reports of State Agencies Virginia Appropriation Act, 1992 Session Amendments*; *How to Use Historic Contexts in Virginia: A Guide for Survey, Registration, Protection, and Treatment Projects*; and *How to Complete Virginia Department of Historic Resources Architectural Resource Inventory Forms* (VDHR 1992a, 1992b, 1993, 1996).

Archaeology

The ten previously identified archaeological resources within the project area were revisited to update their current conditions. Most were associated with the early industrial development of Falmouth. During the course of the survey and documentary research, several new potential archaeological resources were identified also identified and include a surface feature within the yard of the eighteenth century Dunbar Kitchen at 107 Carter Street. The feature may represent the original main dwelling. Privies and other domestic outbuildings were common in rear yard areas during the eighteenth and nineteenth centuries and several may be still extant behind dwellings from that time period. Archaeological potential is also high surrounding the Custom's House and other earlier extant warehouse buildings. ***It is recommended by CRI that if ground disturbance is required for these areas that Phase I archaeological testing be implemented. Depending on the nature of the ground disturbance and the types of resources found during a Phase I project, Phase II archaeological testing may be required; however, it would be evaluated on an individual basis.***

The waterfront area and the areas of early residential development behind are particular sensitive archaeologically. Eighteenth and early nineteenth century industrial sites are often compromised

by later development. In the case of the Village of Falmouth; however, there are areas which may have a high probability for intact cultural features from that time period. In planning the waterfront development for the current undertaking, the following areas should be treated as sensitive cultural resources locations: ***Falmouth Beach Park, River Road Park, St. Clair Brooks Park, and Falmouth Union Church and Cemetery areas.*** ***It is important, because these areas are located within the Falmouth Historic District, that all parties involved in the redevelopment process consult and work closely with the Architectural Review Board and following any procedures outlined in their Design Guidelines*** (Appendix B). The 1675 fort at Falmouth, the original docks, public wharves, warehouses, and ferry houses have yet to be located and if extant archaeologically, would be located along these aforementioned waterfront areas. ***It is recommended by CRI that any ground disturbance in these areas should be proceeded by a Phase I Archaeological Survey in an effort to locate and collect information the early industrial history of Falmouth and it's waterfront development. Depending on the nature of the ground disturbance and the types of resources found during a Phase I project, Phase II archaeological testing may be necessary; however, it would be evaluated on an individual basis.***

Architecture

As noted previously there are several known historic district boundary delineations for the Village of Falmouth; however, the 2006 NRHP boundary update and the boundary recommended by VDOT have not been officially accepted. Therefore the 1970 NRHP boundary, which is a large rectangle, is the official boundary. Technically all resources within that boundary are eligible for inclusion as a contributing or non-contributing resource. Incorporated into the text for each surveyed resource; however, are statements regarding the resource's status within each of the district boundaries as well as CRI's recommendation either agreeing with the original boundary designation or not. Several instances, particularly the church (VDHR #089-5087) at 120 Cambridge Street, are not recommended for inclusion in the district because of their location, but are historically important and should be taken under consideration in the planning.

A total of 95 previously recorded and 13 newly identified architectural resources were surveyed during this project (VDHR #089-0067). A majority of the newly identified resources were located in the northern section of the project area and are removed from the main cohesive core by distance and modern development. As such these resources were not recommended for inclusion to the Falmouth Historic District. CRI is recommending approximately 90 resources for inclusion to the district (Figure 207). The recommendations closely coincide with the 2006 NRHP update boundary, but also include Belmont (VDHR #089-0022), Belmont's Caretaker's House (VDHR #089-5078) and Carlton (VDHR #089-0010). Several properties within the district may be individually eligible to the NRHP and include the Barnes House (VDHR #089-0067-0026) which has a protective easement, Temperance Tavern (VHDR #089-0067-0034), the Custom's House (VDHR #089-0067-0011), the Canal Keeper's House (VDHR #089-0067-0028), and the Moncure House (VDHR #089-0067-0030). The Conway House (VDHR #089-0067-0031) is individually listed on the NRHP and also has a protective easement. Golgotha Church and Union Church have been previously determined eligible for individual listed on the NRHP by VDHR.

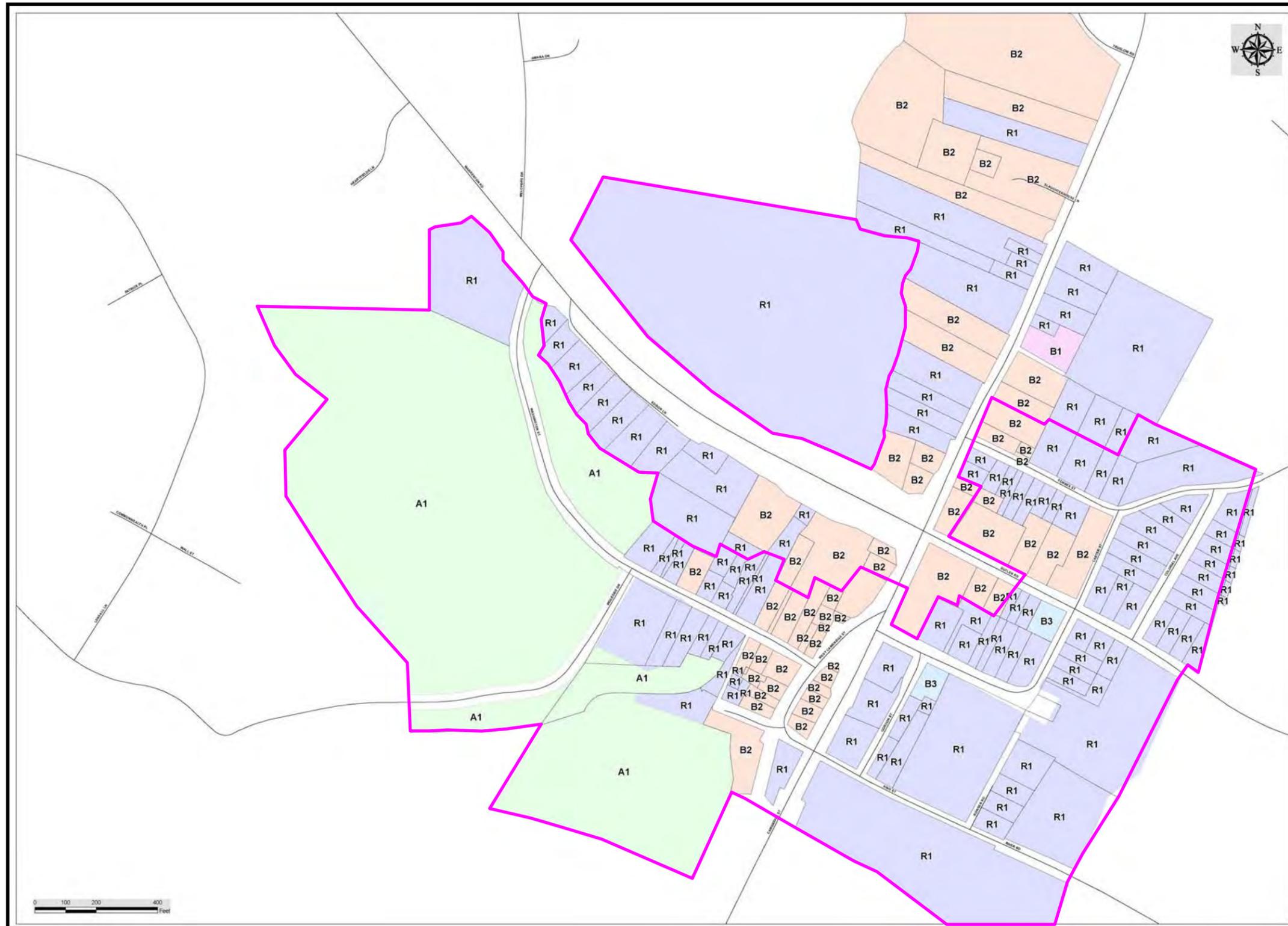


Figure 207. 2009 Proposed Falmouth Historic District Boundary based on Current Research and Analysis of Extant Historic Resources.

During the planning phase for the redevelopment of Falmouth, the historic nature of the village should be taken into account. The existing resources provide a chronological history and as such have been incorporated into a district. *The Architectural Review Board was established to help in the protection of those resources and should be consulted with on a regular basis as well as follow already instituted procedures outlined in the Design Guidelines* (Appendix B).

Belmont-Ferry Farm Trail

The proposed Belmont-Ferry Farm Trail is currently planned to include Belmont, West Cambridge Street, River Road/King Street, and St. Clair Brooks Memorial Park (Figure 208). *It is recommended that the West Cambridge Street portion of the trail segment be extended to follow Carter Street, leading to the Falmouth Union Church and forming a loop to the Phase 3 segment of the trail at St. Clair Brooks Memorial Park and that signage be placed at the following locations along the trail* (Figure 208):

- Phase 3: Archaeological sites 44ST0098 and 44ST0083, 305 King Street (089-0067-0031), describing the historical significance of each; facing the Rappahannock River, describing the historic waterfront of early Falmouth.
- Phase 5: The base of West Cambridge Street at the Old Falmouth Bridge (44ST0154), with text describing the former streetscape and the 1901 view of West Cambridge Street; along Washington Street, describing John Dixon's original subdivision of ½-acre lots and a brief discussion of working-class housing in Falmouth; at archaeological site 44ST0159, describing the history and significance of the Eagle Mill and milling in Falmouth, and a brief description of eighteenth and nineteenth century flour milling; at 104 King Street (089-0067-0028), describing the history and significance of the Falmouth Canal (44ST0066).
- Recommended Extension of Phase 5: At 100 and 107 Carter Street describing the history and significance of Samuel Gordon and Robert Dunbar, as well as a brief discussion of the housing of the wealthy in Falmouth; at the Falmouth Union Church and Cemetery, discussing the history of the church, the history and possible location of the 1675 fort, and noted persons interred within the cemetery.

The information gained through archaeological studies can provide information and artifacts for displays and signage along the proposed Belmont-Ferry Farm trail. As a more ambitious project, the data recovered by archaeologists may also be used to build a working re-creation of the waterfront of eighteenth century Falmouth. Replica warehouses, docks, and associated structures may serve as educational tools, tourist attractions, and modern conveniences such as stores and restaurants. A replica of the eighteenth century dock may serve as a boardwalk, with a replica ferry house as a public boathouse.

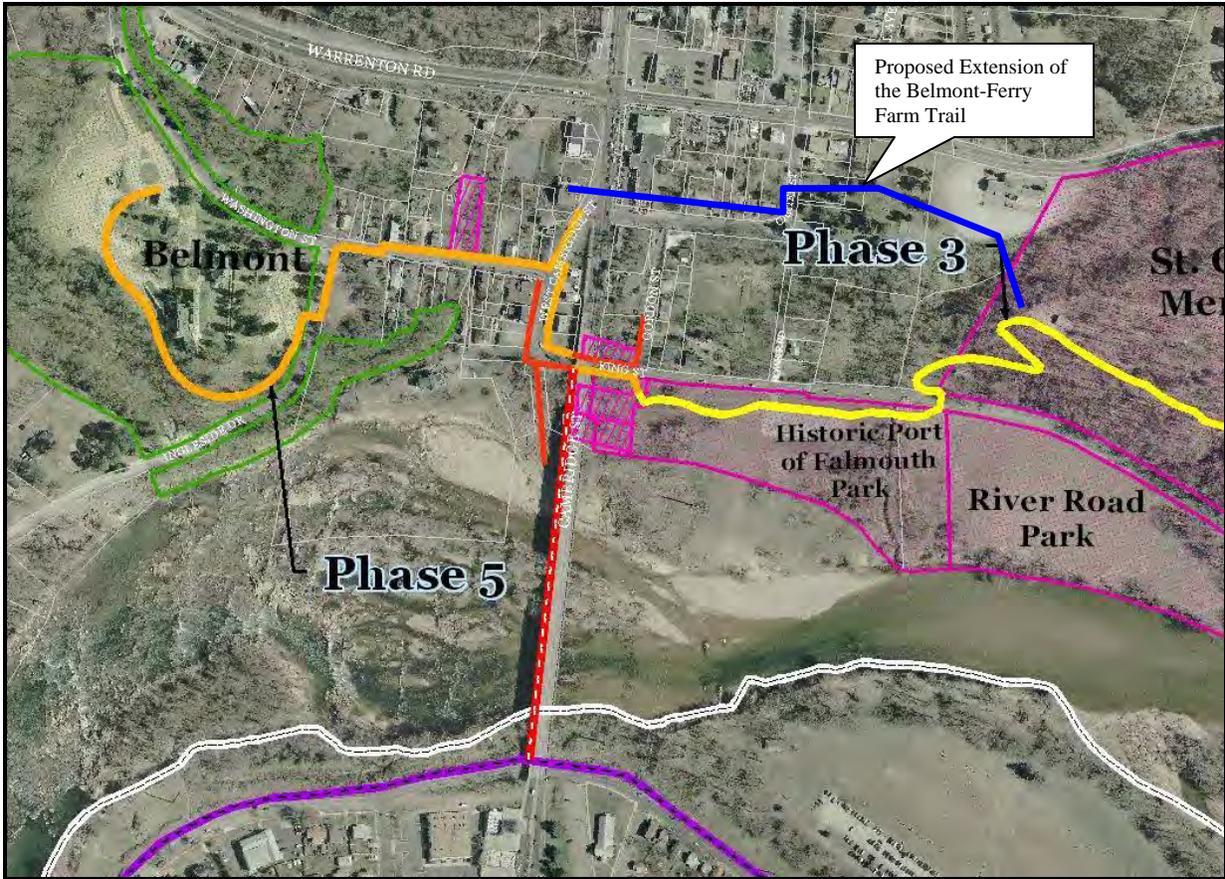


Figure 208. Map of the Proposed Belmont-Ferry Farm Trail depicting the Proposed Extension of Phase 5 (in blue).

VDOT Interchange

The VDOT project at the intersection of Routes 1 and 17 falls within the boundaries of the Falmouth Historic District. As a Federal undertaking, the project falls under the purview of the Section 106 review process. There are four fundamental steps in the Section 106 review process:

- Initiate the process. The Federal agency determines if it has an undertaking (project) that could affect historic properties. This step has been completed for this project.
- Step two is identifying historic properties. This includes determining the scope of efforts, identifying historic properties, and evaluating historic significance. This step is in progress.
- If it is decided that historic properties may be affected by the project, the agency moves to the third step: assess potential adverse effects on the historic properties.
- Finally, if it is determined that a historic property will be adversely affected, and then the agency moves to resolve adverse effects. This might include incorporating design shifts and modifications to avoid or minimize effects, or recommending measures to mitigate adverse effects. A Memorandum of Agreement should be executed to insure that the measures are carried out.

Currently, there are no guidelines in place for the Falmouth Historic District that would govern the aesthetics of the VDOT project. Several historic properties, defined as properties that are eligible for the NRHP as contributing elements to the Falmouth Historic District, may be impacted by the construction of the proposed intersection. Most notable of these is the Samuel Gordon House (089-0067-0012) at 100 Carter Street. If this structure cannot be avoided, it should be mitigated. If the structure is to be moved, it should be kept within the boundaries of the original town of Falmouth, possibly onto Gordon Street or further east on Carter Street. Other historic properties that cannot be avoided should at least be recorded at the Phase II level prior to demolition. As part of the Section 106 process, VDOT must reach an agreement regarding historic properties with all consulting parties prior to the start of construction. ***Stafford County is a consulting party on this project.***

The street layout of Falmouth today, with the exception of the Falmouth Bridge Bridge and the extension of US Route 1 to Carter Street, represents the original street layout of Falmouth. The preservation of these streets is as integral to the preservation of the historic village as the preservation of the buildings themselves. In order to develop Falmouth as a viable Heritage Tourism area, ***CRI recommends that the historic road alignments be preserved.***

The Counting House

The county-owned building at 103 Gordon Street (089-0067-0006), commonly referred to as the Counting House, is a ca. 1840 warehouse that was subsequently converted to a dwelling. An intensive level architectural survey conducted in 2006 recommended that the resource is eligible for individual listing on the NRHP under Criterion A and C (Barile 2006). A Condition Survey Report completed in 2007 recommended that the structure is overall in poor condition and will require a full renovation (Bigoney 2007). The Architectural Review Board of Stafford County and the Stafford County Historical Commission recommend the rehabilitation of the building for use as a visitor's center, gift shop, interpretive center, and/or public meeting space, but do not recommend the building for use as a museum (Dodd 2007; King 2007). The building's history of flooding and frame construction renders it unsuitable for use as a curatorial museum.

As a contributing resource to the NRHP listed Falmouth Historic District (VDHR #089-0067), this property qualifies as a certified historic property. Next, a rehabilitation proposal must be developed which meets the Secretary of the Interior's Standards for Rehabilitation. ***If the County elects to sell the property, the team recommends that it do so with an easement and requirement for rehabilitation within a five-year time frame, and that the buyer use federal and state tax credit programs for the rehabilitation of the structure. Prior to the rehabilitation project, CRI recommends a Phase I archaeological survey be conducted on the property surrounding the building.***

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